

FINDINGS:

1. The proposed ordinance will establish an overlay district with special zoning standards for a distinctive area of the City that possesses a rich history and unique natural resources. These special standards will enhance the physical and architectural aspects of the area and align land uses to be consistent with the commercial, historic and recreational importance of the area while providing development flexibility.
2. The proposed ordinance will help ensure that future development and redevelopment activities will implement and are consistent with the Great Bridge Village Design Guidelines, adopted by City Council December 18, 2008.
3. The proposed ordinance follows good zoning practices.

UPDATE:

At the March 11, 2020 public hearing, the Planning Commission voted to continue the item for sixty (60) days to allow for additional review and consideration of the proposed ordinance. Based on public input received during the public hearing, as well as comments from Planning Commission in discussing the continuation, City staff have amended the draft ordinance in the following manner:

1. Added language to Section 12-805.D.a. clarifying that the overlay district established for the Great Bridge Business Character District is intended to apply to commercially zoned property only.
2. Added language to Section 12-805.D.b. clarifying that development standards for the Great Bridge Business Character District shall not apply to residentially zoned property.
3. Added language in Section 12-805.D.ii. to clarify that residential development is not a required component of mixed use in the Great Bridge School Architectural Compatibility Zone and that mixed use buildings with residential use on the upper floors shall require a conditional use permit, per Section 12-807.D. of the proposed ordinance.
4. Added language to Section 12-807.D. requiring a conditional use permit for residential uses on upper floors of buildings located in the Great Bridge School Architectural Compatibility Zone, in addition to the Causeway Character District.

STAFF RECOMMENDATION:

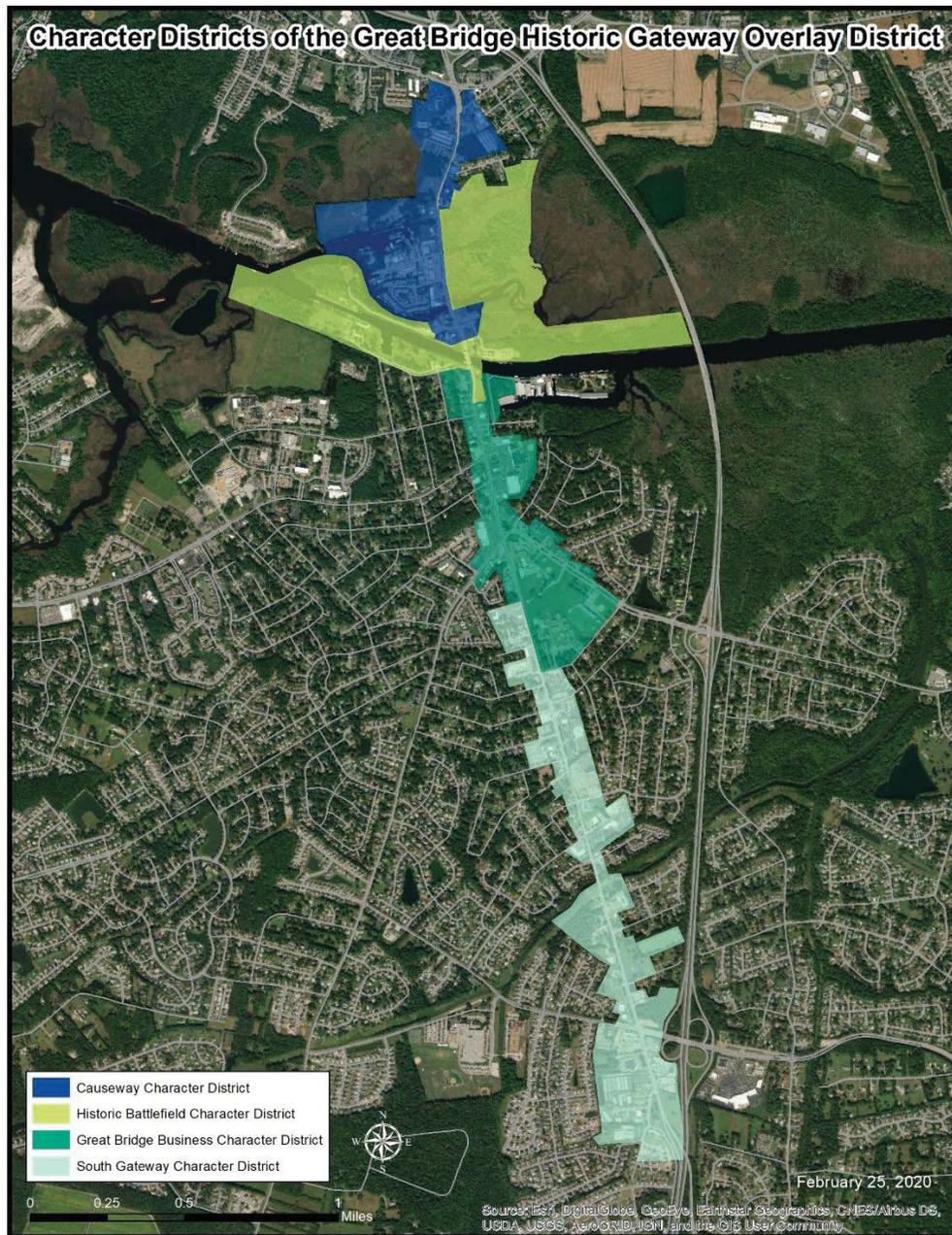
Based on the findings contained in this staff report, staff recommends that **PLN-TXT-2019-011, version dated April 7, 2020** be **APPROVED**.

TEXT AMENDMENT DESCRIPTION:

The proposed amendment will create the Great Bridge Historic Gateway Overlay District, as depicted on the attached map. The overlay district includes specific provisions that establish permitted and conditional uses, setbacks, build-to lines, building heights, site design, architectural controls, signage, and other related development standards. Approval procedures for development within the overlay district are also outlined in the ordinance.

The approximate boundaries of the Great Bridge Historic Gateway Overlay District begin just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road and include primarily non-residential properties fronting on the east and west sides of Battlefield Boulevard North. Moving south, properties fronting on Tilden Avenue, Billy Flora Way, Wayne Avenue, and Watson Road are included, as is a large marshy/tidal area on the east side primarily owned by the City. Additionally, the Overlay District includes the public properties to the east and west of Battlefield Boulevard, along the Albemarle and Chesapeake Canal, near the Great Bridge Bridge. These properties include the Great Bridge Lock Park, properties north of Reservation Road, and properties in the Great Bridge Battlefield and Waterways Historic Park. The Overlay District continues south across the Great Bridge Bridge to include properties fronting on Battlefield Boulevard South, as well as properties fronting on the east side of Wilson Drive between Albemarle Drive and Callison Drive. Undeveloped property along the east side of Basin Road is also included. Continuing south, properties fronting on the east and west sides of Battlefield Boulevard are included, as are properties near the intersection of Battlefield Boulevard South with Johnstown Road and Mount Pleasant Road. The Chesapeake Public Schools Educational Services Center/SECEP, historic Great Bridge School, and Great Bridge Middle School properties are included. Properties fronting on the north and south sides of Mount Pleasant Road to a point near the entrance to the football stadium are also included. Continuing south toward Battlefield Boulevard's intersection with Hanbury Road, properties fronting on the east and west sides are generally included. Finally, the Overlay District terminates just south and west of the intersection of Battlefield Boulevard and the Chesapeake Expressway (see the Great Bridge Historic Gateway Overlay District map).

As depicted on the map below, the Great Bridge Historic Gateway Overlay District is broken into designated character districts, each having unique land use and development standards. The character districts are as follows: the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District.



The overlay district standards shall apply to new construction of a principal structure that occurs after the effective date of the ordinance and major exterior renovations to an existing principal structure within the areas designated as the Causeway Character District, Historic Battlefield Character District, Great Bridge Business Character District and the South Gateway Character District. For purposes of this ordinance, the term “major exterior renovations” includes any reconstruction, rehabilitation, addition or other improvement, the cost of which equals or exceeds fifty percent (50%) of the building’s assessed value as determined by the most recent assessment by the City’s Real Estate Assessor.

BACKGROUND:

On December 16, 2008, City Council approved the Great Bridge Village Design Guidelines as an amendment to the City's Comprehensive Plan.

The proposed amendment to establish the Great Bridge Historic Gateway Overlay District was initiated by City Council by adoption of a resolution on November 19, 2019, which requested the Planning Commission to consider and make recommendations concerning the proposed amendment.

The purpose of this overlay district is to codify the Great Bridge Village Design Guidelines so that the guidelines are mandatory rather than voluntary.

For additional background, please refer to the Great Bridge Historic Gateway Overlay District report, dated April 28, 2020, which is attached to this staff report.

DEPARTMENTAL COMMENTS:

A draft of the Great Bridge Historic Gateway Overlay District report, dated January 15, 2020, was sent to the following departments for review and comments: Zoning, Development Engineering, Economic Development, Fire, Parks, Recreation and Tourism (PRT), Police, Public Utilities, Public Works, School Administration and Zoning. Input received from Zoning and PRT was incorporated into the initial proposed ordinance dated February 25, 2020 and subsequent revised version dated April 7, 2020.

STAKEHOLDER INPUT:

The following stakeholder input initiatives took place:

- A joint meeting with the Historic Preservation Commission and Historic Architectural Review Board was held on November 14, 2019, to get initial input regarding the overlay district concept and feedback on which issues and themes staff should consider for study.
- City staff met with Go Chesapeake on January 22, 2020, to educate the group on the proposed district and to receive comments on the study recommendations.
- Two public workshops were held on January 27, 2020, at the Chesapeake Central Library to educate citizens and to receive input on the study recommendations. Fifty-one (51) citizens attended the workshops.

Based on the input received, the boundaries of the zoning overlay character districts and some development standards were revised.

STAFF ANALYSIS:

Section 12-201 of the Zoning Ordinance requires the Planning Director to prepare a written report that specifies the need to create an overlay district in the City that accompanies the proposed ordinance. The written report shall including the following:

1. A description of the study area, an analysis of existing land uses and structures, an analysis of unique characteristics or features of the area, potentials for development, a discussion of applicable policies and land use designations established in the adopted Comprehensive Plan, and other pertinent matters.
2. Analysis of adjacent lands not included in the study area but which will be impacted by the overlay district and recommendations made as possible actions which should be taken or encouraged.
3. Specific findings regarding the need for the proposed overlay district in order to implement the adopted Comprehensive Plan and associated policies.
4. Recommendations concerning detailed regulations to be applied within the district and within any transitional areas, including permitted and conditional principal and accessory uses and structures; minimum lot, yard and building specifications; maximum building coverage by all buildings; maximum height of structures; off-street parking and loading requirements; control of signs; exterior character of buildings if applicable; landscaping and general appearance of premises; and other controls necessary to meet the intent of the proposed overlay district.
5. Any known plans for public and private action in or adjoining the district.

This report, entitled "The Great Bridge Historic Gateway Overlay District for PLN-TXT-2019-011," dated April 28, 2020, is attached and serves as the staff analysis of the proposed text amendment.

The proposed ordinance will only apply to properties located within the Great Bridge Historic Gateway Overlay District including those areas designated as the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District. The aforementioned districts are identified on the map entitled, "Character Districts of the Great Bridge Historic Gateway Overlay District" and dated February 25, 2020.

MW/KS:bh

cc: Jimmy McNamara, Current Planning Administrator

ATTACHMENTS:

1. Ordinance, dated April 7, 2020
2. Great Bridge Historic Gateway Overlay District Report dated April 28, 2020

AN ORDINANCE AMENDING APPENDIX A OF THE CITY CODE, ENTITLED "ZONING," ARTICLE 7, SECTIONS 7-302 AND 7-402, AND ENACTING ARTICLE 12, SECTIONS 12-800 THROUGH 12-807 TO DELETE REDUNDANT SETBACK PROVISIONS FOR THE GREAT BRIDGE VILLAGE DISTRICT AND CREATE THE GREAT BRIDGE HISTORIC GATEWAY OVERLAY DISTRICT, WITH SPECIFIC PROVISIONS ESTABLISHING PERMITTED AND CONDITIONAL USES, SETBACKS, ARCHITECTURAL CONTROLS AND RELATED STANDARDS AND APPROVAL PROCEDURES FOR DEVELOPMENT WITHIN THE OVERLAY DISTRICT.

WHEREAS, the Council of the City of Chesapeake finds the public necessity, convenience, general welfare and good zoning practice so require,

BE IT ORDAINED by the Council of the City of Chesapeake, Virginia that Appendix A of the City Code, entitled "Zoning," Article 7, Sections 7-302 and 7-402 be amended and Article 12, Sections 12-800 through 12-807 be enacted as follows:

ARTICLE 7. – BUSINESS DISTRICTS

Section 7-302. - Development standards.

~~I. *Special setback standards in Great Bridge Village district.*~~

- ~~1. *Purpose.* On December 16, 2008, the City Council established the Great Bridge Village District by designation on the adopted Land Use Plan and adopted special design and use standards for each component district thereof, including the North Gateway district, Causeway district, Historic Battlefield district, Great Bridge Business district and South Gateway district. These special design and use standards are set out in appendix H of the adopted Comprehensive Plan, entitled "Great Bridge Village Design Guidelines," and include architectural, streetscape, landscape and land use recommendations for each component district. In order to encourage conformance with the Great Bridge Village design guidelines, the Directors of Planning and Public Works shall be authorized to grant exceptions to front yard setback requirements for properties zoned B-1, Neighborhood Business district, and~~

~~located in the Great Bridge Business district or Causeway district, subject to the procedures and conditions as set out below.~~

~~2. *Administrative setback reduction permitted by exception.* A front yard setback reduction may be granted through the issuance of an exception approved jointly by the director of planning and the director of public works, or their respective designees ("directors"), for properties zoned B-1 neighborhood business district and located in the Great Bridge business district or Causeway district of the Great Bridge Village district. Subject to meeting the criteria herein, front yard setbacks may be reduced up to zero, as measured from the ultimate right of way line. Ultimate right-of-way shall be determined by the director of public works or designee, using as guidance the descriptions and illustrations in appendix H of the adopted Comprehensive Plan, as amended.~~

~~3. *Minimum criteria.* In order to qualify for a front yard setback reduction under this subsection, the landowner or authorized representative ("developer") shall agree to comply with the Great Bridge Village design guidelines. The developer shall file an application for an exception with the department of planning, which application shall include 1) plans showing building and site layout, including proposed setbacks and lot coverage, 2) architectural, streetscape and landscape plans and 3) such other plans and documents as may be requested by the department of planning. The director of planning or designee shall determine whether the submittals comply with the Great Bridge Village design guidelines. If the plans are conforming, the director of public works or designee shall review same and determine whether the proposed reduction of the front yard setback will create or increase any potential traffic safety hazards, such as interference with vehicular visibility. In the event the directors concur that~~

~~the requested front yard setback reduction is warranted, the exception shall be granted. The directors may approve a lesser setback reduction than requested or may deny the request.~~

~~4.—*Denial and appeal.* In the event the request for setback reduction is denied, the director of planning shall provide the developer with a written denial setting forth a general description of the deficiencies in the application and plans. The developer shall have ten (10) days to file an appeal of the decision with the planning commission, which shall review same to determine whether the directors of planning and public works were erroneous in finding non-compliance with the Great Bridge Village design guidelines or in finding that the granting of the setback reduction would create or increase a potential traffic hazard.~~

Section 7-402. - Development standards.

~~F.—*Modifications in required yards and setbacks.*~~

~~2.—*Special setback standards in Great Bridge Village district.*~~

~~a.—*Purpose.* On December 16, 2008, the city council established the Great Bridge Village district by designation on the adopted Land Use Plan and adopted special design and use standards for each component district thereof, including the North Gateway district, Causeway district, Historic Battlefield district, Great Bridge business district and South Gateway district. These special design and use standards are set out in appendix H of the adopted Comprehensive Plan, entitled "Great Bridge Village Design Guidelines," and include architectural, streetscape, landscape and land use recommendations for each component district. In order to encourage conformance with the Great Bridge Village design guidelines, the directors of planning and public works shall be authorized to~~

~~grant exceptions to front yard setback requirements for properties zoned B-2 general business district and located in the Great Bridge business district or Causeway district, subject to the procedures and conditions as set out below.~~

~~b. *Administrative setback reduction permitted by exception.* A front yard setback reduction may be granted through the issuance of an exception approved jointly by the director of planning and the director of public works, or their respective designees ("directors"), for properties zoned B-2 general business district and located in the Great Bridge business district or Causeway district of the Great Bridge Village district. Subject to meeting the criteria herein, front yard setbacks may be reduced up to zero as measured from the ultimate right-of-way line. The ultimate right of way shall be determined by the director of public works or designee, using as guidance the descriptions and illustrations in Appendix H of the adopted Comprehensive Plan, as amended.~~

~~c. *Minimum criteria.* In order to qualify for a front yard setback reduction under this subsection, the landowner or authorized representative ("developer") shall agree to comply with the Great Bridge Village design guidelines. The developer shall file an application for an exception with the department of planning, which application shall include 1) plans showing building and site layout, including proposed setbacks and lot coverage, 2) architectural, streetscape and landscape plans and 3) such other plans and documents as may be requested by the department of planning. The director of planning or designee shall determine whether the submittals comply with the Great Bridge Village design guidelines. If the plans are conforming, the director of public works or designee shall review same and determine whether the proposed reduction of the front yard~~

~~setback will create or increase any potential traffic safety hazards, such as interference with vehicular visibility. In the event the directors concur that the requested front yard setback reduction is warranted, the exception shall be granted. The directors may approve a lesser setback reduction than requested or may deny the request.~~

~~d. *Denial and appeal.* In the event the request for setback reduction is denied, the director of planning shall provide the developer with a written denial setting forth a general description of the deficiencies in the application and plans. The developer shall have ten (10) days to file an appeal of the decision with the city planning commission, which shall review same to determine whether the directors of planning and public works were erroneous in finding non-compliance with the Great Bridge Village design guidelines or in finding that the granting of the setback reduction would create or increase a potential traffic hazard.~~

~~3. *Other setback reductions.* Unless otherwise expressly provided in this ordinance, all other applications for setback reductions shall be heard by the city board of zoning appeals as a variance request.~~

ARTICLE 12. – SPECIAL OVERLAY DISTRICTS

Section 12-800. – Great Bridge Historic Gateway Overlay District.

Section 12-801. - Creation of Great Bridge Historic Gateway Overlay District.

There is hereby created the "Great Bridge Historic Gateway Overlay District" of the City of Chesapeake. All properties located within this district shall be subject to the provisions set out below.

Section 12-802. - Findings of fact.

The historic gateway district of the Great Bridge area of the City of Chesapeake is a distinctive area that possesses a rich history, significant impact to commerce, and unique natural resources. The area's historical significance is evidenced by the Great Bridge Battle site (Battlefield) and the Albemarle and Chesapeake Canal Historic District, both of which are listed on the National Register of Historic Places and the Virginia Landmarks Registry. The Albemarle and Chesapeake Canal is the vital link in the nation's Intracoastal Waterway and provides inland commerce for boat traffic for the entire Eastern Seaboard of the United States. The area is also surrounded by significant tidal wetland areas, marshes, and other environmentally sensitive areas.

The Albemarle and Chesapeake Canal Historic District was listed on the Virginia Landmarks Registry in 2002 and the National Register of Historic Places in 2004. It is part of the Atlantic Intracoastal Waterway and carries both recreational and commercial boat traffic. The 9.1 mile long and 90 foot wide Virginia Cut of the Albemarle and Chesapeake Canal, which connects the Southern Branch of the Elizabeth River to the North Landing River, was constructed in 1859. The Albemarle and Chesapeake Canal was one of the first canals to be designed for steam-powered vessels. It was also the first canal in Virginia to be built entirely by steam dredging, rather than by hand. The Canal was under Union control during the Civil War but remained intact after the war.

The Great Bridge Battle site (Battlefield) was individually listed on the Virginia Landmarks Registry in 1971 and the National Register of Historic Places in 1973. The Great Bridge Battlefield is the site of the first military engagement in Virginia for the American Revolutionary War. The Battle of Great Bridge, from which the community of Great Bridge derives its name, was fought on December 9, 1775. The battle ended in victory for the

American Patriots and forced the retreat of Virginia Royal Governor, Lord Dunmore, and his British troops. A re-enactment of the Battle of Great Bridge is held every year in December near the site of the original battle. In the fall of 2019, the Great Bridge Battlefield and Waterways History Foundation opened a museum and visitor center, dedicated to preserving the history of the Battle of Great Bridge and the Albemarle and Chesapeake Canal, in the Great Bridge Battlefield and Waterways Historic Park.

The continued preservation and revival of the Great Bridge area depends upon revitalizing the community's historic relationship with the business community which anchors it and both preserving and restoring those characteristics of the business district which make it attractive and viable.

Section 12-803. - Purpose and intent.

The purpose and intent of creating the Great Bridge Historic Gateway Overlay District is to establish special zoning standards for the area which accomplish the following: (1) enhance those physical and architectural aspects of the area which make it attractive and consistent with the historic character of the community it serves; (2) limit uses in the area to those that are consistent with the commercial, historic and recreational importance of the area and the waterways in and around it; and (3) provide development flexibility that is economically stable and encourages the improvement and upgrading of the area.

Section 12-804. - Area of applicability.

The Great Bridge Historic Gateway Overlay District shall include those areas designated as the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District as identified on the map entitled, "Character Districts of the Great Bridge Historic Gateway Overlay District" and dated February 25, 2020 which is hereby incorporated into and made a part of this

ordinance. These character districts are modeled after, but do not exactly correspond to, the Causeway District, Historic Battlefield District, Great Bridge Business District, and South Gateway District contained in the adopted Great Bridge Village Design Guidelines.

Section 12-805. - Development standards.

A. *Applicability.* The development standards set out herein shall apply to new construction of a principal structure that occurs after the effective date of this ordinance and major exterior renovations to an existing principal structure within the areas designated as the Causeway Character District, Historic Battlefield Character District, Great Bridge Business Character District and the South Gateway Character District. For purposes of this ordinance, the term “major exterior renovations” shall include any reconstruction, rehabilitation, addition or other improvement, the cost of which equals or exceeds fifty percent (50%) of the building’s assessed value as determined by the most recent assessment by the City’s Real Estate Assessor. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.

B. *Incorporation of the Great Bridge Village Design Guidelines.* City Council approved the Great Bridge Village Design Guidelines on December 16, 2008. The Great Bridge Village Design Guidelines are herein incorporated by reference and shall apply to applicable properties as outlined in this ordinance, as determined by the Planning Director or designee. The Great Bridge Village Design Guidelines may only be amended by City Council in the same manner as amendments to the Zoning Ordinance.

C. *Causeway Character District*

- a. Intent. The purpose of this area is to foster the development and redevelopment of land uses associated with a mixed use community waterfront village that promotes and preserves the historical significance of the area.
- b. Development Standards. Development in this district shall comply with the MXD-U, Mixed Use Urban District, development standards, unless otherwise specified herein. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.
 - i. Mixture of uses. The mixture of uses in this district shall include at least two (2) different classifications of land use (office, hotel, residential or retail). Residential development is not a required component of mixed use in the Causeway Character District. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807(D) of this ordinance.
 - ii. Building design. The maximum height of a building or structure shall not exceed four (4) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit from City Council. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines.
 - iii. Building orientation. Development within the Causeway Character District shall be oriented toward front-facing streets, with parking and other accessory land uses located inward and away from waterways and

natural features to maximize the advantages created by these features. The map entitled, “Causeway Character District Front-Facing Streets Exhibit” and dated February 25, 2020, depicts which streets within this district shall be considered front-facing streets and is hereby incorporated by reference. Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the Causeway Character District as opposed to providing direct access to individual land uses. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.

iv. *Principal building setback from streets (front yard).* The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Setbacks shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks and other pedestrian activities. The Planning Director, or designee, may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown. Lots that are adjacent to waterways shall be considered to have two front yards on both the fronting street and the waterway.

v. *Buffer yards.* Excepting properties that meet one of the exemptions listed below, buffer areas shall be provided in accordance with the requirements for B-2, General Business Districts, as set forth in Section 19-600 et seq. of the Zoning Ordinance. All plant materials shall be

native vegetation as set forth in the adopted Great Bridge Village Design Guidelines.

1. Exceptions:

- a. Developments that abut residentially zoned or used properties shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use.
- b. When the width of any setback is less than the required width of a buffer area under Section 19-600 et seq. of the Zoning Ordinance, the width of the buffer area may be reduced; provided that the amount and types of structures and/or plants required under Section 19-600 et seq. must be installed to the maximum extent possible within the reduced setback area. The arrangement of structures and plants shall be subject to the review and approval of the City's Landscape Coordinator prior to installation to assure compliance with this provision.
- c. When the front yard setback is zero (0) feet, no front yard buffering shall be required.
- d. Properties that abut, but do not front on Battlefield Boulevard North, as illustrated on the map entitled, "Causeway Character District Front-Facing Streets Exhibit" dated February 25, 2020, shall install a street

frontage buffer yard meeting or exceeding the requirements of Section 19-600 et seq. of this ordinance along Battlefield Boulevard North. All such street frontage buffer yards shall include a pedestrian feature to provide pedestrian connectivity throughout the corridor.

vi. Signage. A signage plan shall be submitted to the Planning Director during project review as set forth in Section 12-806 below. Signs in the Causeway Character District shall comply with the adopted Great Bridge Village Design Guidelines and the requirements for residential districts as specified in Section 14-700 et seq. of this ordinance; except that the provisions set out below shall also apply and control in the event of a conflict:

1. The total sign area for all signs on premises shall not exceed one (1) square foot of sign area for each linear foot of public right-of-way frontage.
2. No sign shall extend above or on the roofline of the building face.
3. Freestanding signs are prohibited between a street and principal building when there is no front yard setback for the principal building.
4. Overhanging signs, extending out from the building and overhanging a sidewalk, street, alley or other passageway, are prohibited unless a special permit is approved by the Director of

Development and Permits, or designee in accordance with Section 66-121.1 of the City Code.

5. Prohibited signage:

- a. Box signage;
- b. Billboards; and
- c. Flashing, variable or electronic message signs.

D. Great Bridge Business Character District

- a. Intent. This area is intended to enhance the existing community-scale village concept and capitalize on the history of the area and its connection to existing residential neighborhoods by establishing an overlay district for commercially zoned property.
- b. Development Standards. Development on all commercially zoned property in this district shall comply with the B-1, Neighborhood Business District, unless otherwise specified herein. These development standards shall not apply to residentially zoned properties. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.
 - i. Building design. The maximum height of a building or structure shall not exceed two (2) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit from City Council. Buildings and structures in the Great Bridge School Architectural Compatibility Zone, as depicted on the map entitled, “Great Bridge School Architectural Compatibility Zone” dated February 25, 2020, may be up to three (3) stories to encourage massing compatibility with the historically significant Great Bridge School.

New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines.

ii. Mixed use in the Great Bridge School Architectural Compatibility Zone. Residential development is not a required component of mixed use in the Great Bridge School Architectural Compatibility Zone. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807(D) of this ordinance.

iii. Building orientation. Development within the Great Bridge Business Character District shall be oriented toward Battlefield Boulevard South, Cedar Road, Johnstown Road, and Mount Pleasant Road as depicted on the “Great Bridge Business Character District Front-Facing Streets Exhibit” and dated February 25, 2020. Corner lots and buildings with multiple frontages shall provide primary consideration to pedestrian activity. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.

iv. Principal building setback from streets (front yard). The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Setbacks shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks and other pedestrian activities. The Planning Director, or designee, may provide written

approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown. Lots that are adjacent to waterways shall be considered to have two (2) front yards on both the fronting street and the waterway.

v. Buffer yards. Buffer areas shall be provided in accordance with the requirements for B-1, Neighborhood Business District, of Section 19-600 et seq. of the Zoning Ordinance; provided that developments abutting residentially zoned or used properties shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set forth in the adopted Great Bridge Village Design Guidelines.

vi. Signage. A signage plan shall be submitted to the Planning Director during project review as set forth in Section 12-806 below. Signs in the Great Bridge Business Character District shall comply with the adopted Great Bridge Village Design Guidelines and the sign standards for the B-1, Neighborhood Business, as set forth in this ordinance. The following signs shall be prohibited:

1. Box signage;
2. Billboards; and
3. Flashing, variable or electronic message signs.

E. Historic Battlefield Character District

- a. Intent. This area shall consist primarily of public lands located adjacent to the Albemarle and Chesapeake Canal and is intended to preserve existing historic character to maximize the area's waterway and historical significance.
- b. Development Standards. Development in this district shall comply with the underlying zoning district, unless otherwise specified herein.
- c. Building Design. All new construction of a principal structure shall feature Colonial architecture with traditional colors in a manner consistent and compatible with the Great Bridge Battlefield and Waterways Visitors Center, as determined by the Planning Director or designee. The Planning Director shall obtain the recommendation of the Chesapeake Historic Preservation Commission prior to the approval of any new construction within the Historic Battlefield Character District.
- d. Buffering. All landscape buffers and vegetation shall consist of native vegetation to complement and be consistent with historical arrangements, as set forth in the adopted Great Bridge Village Design Guidelines.

F. South Gateway Character District

- a. Intent. This area consists of a mixture of zoning uses and is intended to harmonize these uses by applying the design standards set forth in the adopted Transportation Corridor Overlay District to provide a continuous transition between the Great Bridge Historic Gateway Overlay District to the north and the Transportation Corridor Overlay (TCOD) District to the south.
- b. Development Standards. Development in this district shall comply with the underlying zoning district and the adopted Transportation Corridor Overlay District, unless otherwise specified herein. In the event of a conflict, the

standards set out below shall supersede any contrary Zoning Ordinance provision.

i. Building Design. Applicable properties shall adhere to the design guidelines set forth in the adopted Transportation Corridor Overlay District policy.

1. New construction of a principal structure shall comply with the following design standards, as determined by the Director of Planning or designee:

a. Development shall be Southern Colonial, French Colonial, or Coastal Colonial, with thematically appropriate architectural elements and materials such as brick and stone masonry, stucco, wood shingle, wood clapboard, board and batten, or alternative materials that achieve the same style. Porches, stoops, and decks with decorative columns, railing, and spindles or balusters are encouraged. Windows shall include visually prominent sills, muntins, shutters, and other framing details. Use gabled or hipped roofs, or a combination thereof with chimneys, dormers, and other accentuating design features that articulate rooflines.

b. Use of prefabricated corrugated metal panels, smooth-faced concrete block; and smooth-faced tilt-up concrete panels on facades of primary buildings facing Battlefield Boulevard South is prohibited, and may only be

permitted on side and rear facades if screened from Battlefield Boulevard South. Facade color shall be low reflectance, subtle, neutral or earth tone colors. Brighter, trademark colors shall only be used as an accent color on no more than twenty percent (20%) of the façade of the building. Rooftop mechanical units, flues, and vents shall be organized and screened.

c. Outdoor furnishings and public amenities shall be consistent with the design themes set forth in the adopted Great Bridge Village Design Guidelines.

ii. Buffer yards. All new construction of a principal structure shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting Battlefield Boulevard South, as determined by the City's Landscape Coordinator. All plant materials shall be native vegetation appropriate to the Southern Colonial theme, as set forth in the adopted Great Bridge Village Design Guidelines. Street buffer yards shall include a pedestrian feature to provide pedestrian connectivity throughout the corridor.

Section 12-806. - Review of projects within the overlay district; appeals.

A. In order to promote the development of an integrated and compatible appearance among the buildings located within the district, the exteriors of buildings located in the district may be altered only in accordance with the standards set out below.

B. Improvements requiring site plan review.

1. Where site plan review and approval is required under this Zoning Ordinance for a proposed site development within the district, the final site plan shall include all information required by the Planning Director, or designee, regarding the development standards, architecture, color and related characteristics of the buildings, structures and signs on the site, both as currently existing and as proposed, and their relationship to neighboring sites. The Planning Director, or designee, shall review and act upon the proposed architectural, color and related characteristics of the buildings, structures and signs on the site as part of the final site plan review process and shall use the standards and criteria set out in Section 12-805 above.
2. If aggrieved by the decision of the Planning Director, the applicant may appeal to the Planning Commission and City Council as provided for below.

C. *Improvements not requiring site plan review.*

1. No building permit shall be issued for any principal structure subject to this ordinance, as set forth in Section 12-805(A) of this ordinance, until the Planning Director, or designee, determines that the principal structure complies with the development standards, architecture, color and other building design standards set forth in this ordinance. Any building permit approved without the approval of the Planning Director or designee shall not be valid.
 - a. Any person proposing work that is subject to review and approval by the Planning Director under this subsection shall provide to the Planning Director all information which the Director may require regarding the development standards, architecture, color and other characteristics of the buildings on the site.

2. The regular exterior maintenance of a building, structure, or sign within the district shall not require review and approval by the Planning Director; provided that the following requirements are met:

a. Exterior painting shall conform to the color palette entitled, “Benjamin Moore Historical Collection.” Any exterior paint color that does not comply with the referenced color palette shall be subject to the review and approval of the Planning Director or designee prior to painting;

b. Bright, trademark colors that do not conform to the “Benjamin Moore Historical Collection” color palette are permitted as an accent color for exterior painting; provided that the paint is low reflectance. No more than twenty percent (20%) of the façade of the building shall be painted an accent color, as determined by the Planning Director or designee.

3. If aggrieved by the decision of the Planning Director, the applicant may appeal to the Planning Commission and City Council as provided for below.

D. Appeals. The determinations of the Planning Director may be appealed by the applicant to the Planning Commission, upon timely filing of appeal with the Director within thirty (30) days of the date of the Director's decision. The Planning Commission shall hear such appeal as a site plan review item. The property affected shall be posted in the manner prescribed by ordinance for site plan applications. If aggrieved by the decision of the Planning Commission, the applicant may appeal directly to the City Council; provided that such appeal is filed with the Planning Director within thirty (30) days of the decision of the Planning Commission. If aggrieved by the decision of the City Council, the applicant may appeal directly to the Chesapeake Circuit Court, as provided for in the

Code of Virginia, 1950, as amended. Only the applicant shall have the right of appeal from decisions of the Planning Commission and City Council.

Section 12-807. - Table of permitted and conditional uses.

A. In general. The following tables set out all uses which are permitted or which may be allowed through the granting of a conditional use permit by City Council, in the Great Bridge Historic Gateway Overlay District. Where a use is not listed, it shall not be allowed as a permitted or conditional use in these districts; provided, however, that in those instances where a proposed use not listed below is determined by the Zoning Administrator to be of a similar nature or character as a listed use and such proposed use is also listed in the Standard Industrial Classification (SIC) Manual, published by the Federal Office of Management and Budget, such proposed use may be treated in the same manner as the listed use. Any decision by the Zoning Administrator regarding such a proposed use shall be made in writing.

B. Key of symbols used in table. The symbols in the table below shall have the following meanings:

<u>GBB</u>	<u>Great Bridge Business character district</u>
<u>HB</u>	<u>Historic Battlefield character district</u>
<u>CW</u>	<u>Causeway character district</u>
<u>P</u>	<u>Permitted use</u>
<u>C</u>	<u>Conditional use</u>

C. *Special conditions pertaining to specific uses.* The following conditions shall apply to specific uses, as indicated in the "condition" column in the uses schedule:

1. Limited to dog grooming, pedigree record services for pets and showing pets only.
2. An assembly use located in, or that will be located in, a building containing more than one leasable space and required to obtain a conditional use permit shall submit all of the following in addition to the requirements of Article 17 of this Ordinance:

- a. A certification from the landlord or the property owner that the on-site parking can accommodate the assembly use and the existing and future co-tenants either by meeting the criteria set out in Section 19-411 or by obtaining approval of a cooperative parking arrangement under Section 19-405. If required off-street parking can only be achieved with the approval of a cooperative parking agreement, a request for cooperative parking shall be included.
- b. A noise attenuation plan including the landlord or property owner's certification that the building has sufficient noise attenuation qualities to make the assembly use compatible with neighboring units and properties. Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.
- c. A written acknowledgement from the landlord or property owner that required plans must be submitted with an architectural seal that demonstrates compliance with the Virginia Uniform Statewide Building Code, as amended.
- d. A written acknowledgment that a certificate of occupancy must be obtained before the assembly use occupies the space.

Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.

3. See Section 13-600 et seq. of this Ordinance for supplemental regulations. Administrative review eligible projects shall only be permitted if the requirements of Section 13-602 are satisfied.
4. See Section 13-1700 et seq. for supplemental regulations.
5. See Section 13-2200 et seq. for supplemental regulations.
6. See Section 13-900 et seq. for supplemental regulations.
7. Operated in accordance with Chapter 14, Article VI (section 14-271 et seq.) of the City Code.
8. Auction rooms shall not be permitted in the Great Bridge Business Character District.
9. No more than 2,000 square feet of floor area shall be devoted to laundering and finishing processes and no coal-burning or smoke-producing equipment shall be used.
10. See Section 13-1504 et seq. for supplemental regulations.
11. Raising animals for experimental purposes is excluded.
12. See Section 13-500 et seq. for supplemental regulations.
13. No such establishment shall be used for private gain.
14. See Section 13-2100 et seq. for supplemental regulations.
15. A buffer yard "B," as defined in Section 19-610, shall be provided where the home furnishing shop is located in the Great Bridge Business Character district borders properties zoned Assembly or Office and Institutional.
16. Commercial establishments in which a principal or accessory use includes either or both (1) animal obedience training or other instruction and (2) animal grooming,

including but not limited to shampooing, haircutting, flea treatment, or nail clipping shall comply with the following requirements set out below:

a. All instruction or grooming activities, whether on-site or off-site, shall occur inside an enclosed building or yard that is completely enclosed by a fence or similar barricade.

b. Where the site for such activity is located adjacent to property being used for residential purposes, no outdoor instruction activity shall be carried out earlier than 8:00 a.m. or later than 8:00 p.m.

17. Permitted only on municipal (Chesapeake) sites and as permitted in Section 13-602 of this Ordinance.

18. A conditional use permit shall be required for any eating or drinking place selling alcoholic beverages for on-premises consumption that meets one (1) of the following conditions:

a. The eating or drinking place is open for business after 12:00 a.m. and any portion of such property containing an eating and drinking place is located within two hundred (200) feet of any lot line of any property zoned or used for residential purposes. Where an eating and drinking place is located in a shopping center, the 200-foot distance shall be measured from the outer walls of the unit or space in which the eating and drinking place is located.

b. The eating or drinking place is adjacent to the following:

i. Property containing a church in a freestanding building;

ii. Property containing a public or private school in a freestanding building;

iii. Hospital in a freestanding building, or

iv. Daycare center in a freestanding building.

c. A conditional use permit shall not be required if one of the following exceptions applies:

i. The structure or unit in which the eating and drinking place is located is separated from property containing a church, or property containing a public or private school by a street at least sixty (60) feet in width which is owned and maintained by the City or the Commonwealth.

ii. For purposes of subsection b. only, the eating and drinking place is located in a shopping center. For purposes of this section, shopping center shall mean a group of retail or other commercial establishments that functions as a unified commercial development.

19. A conditional use permit shall be required if the parking facility is located adjacent to property zoned or used for residential purposes

20. Establishments selling alcoholic beverages shall comply with any and all rules and requirements of the Virginia Alcoholic Beverage Control Board.

21. Goods may be produced for wholesale sale as an accessory use to retail activities, provided that all conditions set out in Section 14-102.C.3 are met.

22. Only City-sponsored farmers markets shall be permitted in the Historic Battlefield Character District. See Section 13-1405 et seq. of this ordinance for supplemental regulations.

23. See Section 13-2700 et seq. of this ordinance for supplemental regulations.

D. *Mixed use dwellings in the Causeway Character District and the Great Bridge School Architectural Compatibility Zone.* In addition to the permitted and conditional uses specified in the Table of Permitted and Conditional Uses below, a conditional use permit shall be required for residential uses on the upper floor levels of buildings located in the

Causeway Character District and the Great Bridge School Architectural Compatibility
Zone.

E. Table of permitted and conditional uses in the Great Bridge Historic Gateway Overlay District

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>0742</u>	<u>Veterinary Services, Non-livestock Only, except Kennel, Boarding and Outdoor Activities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>0752</u>	<u>Animal Services, Except Veterinary and Kennel</u>	<u>P</u>		<u>P</u>	<u>1</u>	<u>26</u>
	<u>Animal training and grooming</u>	<u>P</u>		<u>P</u>	<u>16</u>	<u>26</u>
<u>15</u>	<u>General Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>16</u>	<u>Heavy Construction Other Than Building Construction—Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>17</u>	<u>Construction—Special Trade Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>208</u>	<u>Beverages</u>	<u>P</u>		<u>P</u>	<u>20, 21</u>	<u>30</u>
<u>4121</u>	<u>Taxicab Operations</u>			<u>P</u>		<u>25</u>
<u>4173</u>	<u>Motor Vehicle Terminals</u>			<u>P</u>		<u>16</u>
<u>4215</u>	<u>Courier Services Except By Air</u>	<u>P</u>		<u>P</u>		<u>25</u>
<u>43</u>	<u>United States Postal Service</u>	<u>P</u>		<u>P</u>		<u>24</u>
<u>4493</u>	<u>Marinas</u>		<u>P</u>	<u>P</u>		<u>18</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>472</u>	<u>Transportation Arrangement</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>48</u>	<u>Communications, Offices</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>48</u>	<u>Communications Towers, administrative review-eligible projects</u>	<u>P</u>		<u>P</u>	<u>3</u>	
	<u>Amateur Radio Antenna</u>	<u>P</u>		<u>P</u>		
<u>48</u>	<u>Communications, Towers</u>	<u>C</u>			<u>3</u>	
<u>48</u>	<u>Communications Towers on municipal property</u>	<u>P</u>		<u>P</u>	<u>3, 17</u>	
<u>4911</u>	<u>Accessory Solar Energy System</u>	<u>P</u>			<u>23</u>	
	<u>Unmanned Public Facility Buildings and Related Structures</u>	<u>P</u>		<u>P</u>	<u>4</u>	<u>26</u>
<u>494</u>	<u>Water Supply</u>	<u>P</u>		<u>P</u>		<u>26</u>
<u>521</u>	<u>Lumber and Other Building Materials</u>	<u>C</u>				<u>11</u>
<u>523</u>	<u>Paint, Glass and Wallpaper Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>525</u>	<u>Hardware Store</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>526</u>	<u>Retail Nurseries, Lawn and Garden Supply Stores</u>	<u>C</u>		<u>C</u>		<u>11</u>
<u>53</u>	<u>General Merchandise Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>54</u>	<u>Food Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
	<u>Grocery Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>55</u>	<u>Boat Dealers</u>			<u>C</u>		
<u>5431</u>	<u>Farmers Markets</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>22</u>	<u>28</u>
<u>5460</u>	<u>Retail Bakery</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>553</u>	<u>Auto Supply Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>554</u>	<u>Motor Vehicle Fuel Supply</u>	<u>C</u>			<u>7</u>	<u>11</u>
<u>56</u>	<u>Apparel and Accessory Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>571</u>	<u>Home Furnishings Shops</u>	<u>P</u>		<u>P</u>	<u>15</u>	<u>14</u>
<u>572</u>	<u>Household Appliances</u>	<u>P</u>		<u>P</u>		<u>14</u>
<u>5731</u>	<u>Radio and Television Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5734</u>	<u>Computer and Software Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5735</u>	<u>Record Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5736</u>	<u>Musical Instrument Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>58</u>	<u>Eating and Drinking Places with Seating</u>	<u>P</u>		<u>P</u>	<u>18</u>	<u>9</u>
<u>58</u>	<u>Eating and Drinking Places Without Seating</u>	<u>P</u>		<u>P</u>	<u>18</u>	<u>10</u>
<u>591</u>	<u>Drugstores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>592</u>	<u>Liquor Stores</u>	<u>P</u>		<u>P</u>		<u>10</u>
<u>593</u>	<u>Used Merchandise Store, Except Pawn Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5941</u>	<u>Sporting Goods Stores and Bicycle</u>	<u>P</u>		<u>P</u>		<u>12</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
	<u>Shops</u>					
<u>5942</u>	<u>Bookstores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5943</u>	<u>Stationery Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5944</u>	<u>Jewelry Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5945</u>	<u>Hobby, Toy and Game Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5946</u>	<u>Camera and Photographic Supply Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5947</u>	<u>Gift, Novelty and Souvenir Shops</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5948</u>	<u>Luggage and Leather Goods Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5949</u>	<u>Sewing, Needlework and Piece Goods Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5961</u>	<u>Catalog and Mail Order Houses</u>			<u>C</u>		<u>24</u>
<u>5962</u>	<u>Automatic Merchandising Machine Operators</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5963</u>	<u>Direct Selling Establishments</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5992</u>	<u>Florists</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5993</u>	<u>Tobacco Stores and Stands</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5994</u>	<u>News Dealers and Stands</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5995</u>	<u>Optical Goods Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5999</u>	<u>Miscellaneous Retail Stores Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>	<u>8</u>	<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>60-67</u>	<u>Finance, Insurance and Real Estate, Except Cemeteries</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>701</u>	<u>Hotels and Motels</u>			<u>P</u>		<u>6</u>
<u>704</u>	<u>Organization Hotels and Lodging houses, on Membership Basis</u>			<u>P</u>		<u>6</u>
<u>7211</u>	<u>Power Laundries, Family and Commercial</u>	<u>C</u>		<u>C</u>	<u>9</u>	<u>11</u>
<u>7212</u>	<u>Garment Pressing</u>	<u>P</u>		<u>P</u>	<u>9</u>	<u>11</u>
<u>7215</u>	<u>Coin-Operated Laundries and Dry Cleaning</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7219</u>	<u>Custom Dressmakers and Tailors</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>722</u>	<u>Photographic Studios, Portrait</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>723</u>	<u>Beauty Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>724</u>	<u>Barbershops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>725</u>	<u>Shoe Repair Shops and Shoeshine Parlors</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7291</u>	<u>Tax Return Preparation Service</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7299</u>	<u>Miscellaneous Personal Services Not Elsewhere Classified; Except Tattoo Parlors</u>	<u>C</u>		<u>C</u>		
<u>7311</u>	<u>Advertising Agencies</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7313</u>	<u>Radio, Television and Publishers' Advertising Representatives</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7319</u>	<u>Advertising Not Elsewhere Classified, Offices Only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>732</u>	<u>Consumer Credit Reporting Agencies, Mercantile Reporting Agencies and Adjustment and Collection Agencies</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7331</u>	<u>Direct Mail Advertising Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7334</u>	<u>Photocopying and Duplicating Services</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7335</u>	<u>Commercial Photography</u>			<u>P</u>		<u>11</u>
<u>7336</u>	<u>Commercial Art and Graphic Design</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7338</u>	<u>Secretarial and Court Reporting Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7352</u>	<u>Medical Equipment Rental and Leasing</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>736</u>	<u>Personal Supply Services</u>	<u>P</u>		<u>P</u>		<u>0</u>
<u>737</u>	<u>Computer Programming, Data Processing and Other Related Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7381</u>	<u>Detective, Guard and Armored Car Services, offices only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7382</u>	<u>Security Systems Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7383</u>	<u>News Syndicates</u>			<u>P</u>		<u>11</u>
<u>7384</u>	<u>Photofinishing Laboratories</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7389</u>	<u>Business Services, Not Elsewhere Classified</u>	<u>P</u>				<u>11</u>
<u>7521</u>	<u>Parking Facilities</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>19</u>	
<u>7622</u>	<u>Radio and Television Repair Shops</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7629</u>	<u>Electrical and Electronic Repair Shops, Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>763</u>	<u>Watch, Clock and Jewelry Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>764</u>	<u>Re-upholstery and Furniture Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Instrument Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Optical Goods Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Leather Goods Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Lock and Gunsmith Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7699</u>	<u>Musical Instrument Repair and Tuning</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Bicycle Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Antique Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Camera Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Mirror Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Picture Framing</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Sharpening and Repairing Knives, Saws and Tools</u>	<u>P</u>		<u>P</u>		<u>12</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7699</u>	<u>Taxidermist</u>	<u>C</u>				<u>12</u>
<u>7829</u>	<u>Services Allied to Motion Picture Distribution</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7832</u>	<u>Motion Picture Theaters, Except Drive-Ins</u>	<u>C</u>		<u>P</u>		<u>16</u>
<u>7841</u>	<u>Videotape Rental</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>791</u>	<u>Dance Studios, Schools and Halls, Instructional Only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7929</u>	<u>Bands, Orchestras, Actors and Other Entertainers and Entertainment Groups</u>			<u>C</u>		<u>11</u>
<u>793</u>	<u>Bowling Centers</u>	<u>C</u>		<u>C</u>		<u>21</u>
<u>7991</u>	<u>Physical Fitness Facilities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7993</u>	<u>Coin-Operated Amusement Devices</u>	<u>C</u>		<u>C</u>		<u>11</u>
<u>7999</u>	<u>Indoor Recreation Facilities Not Elsewhere Classified, Except Establishments Offering On-Site Computers for Sweepstakes, Games, Lotteries, or Contests under Virginia Code</u>	<u>C</u>		<u>P</u>		<u>11</u>
<u>7999</u>	<u>Outdoor Recreation Facilities Not Elsewhere Classified</u>	<u>C</u>	<u>P</u>	<u>C</u>	<u>10</u>	<u>17</u>
	<u>Martial Arts Instruction and Studios</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>801—</u>	<u>Offices and Clinics of Doctors and</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>804</u>	<u>Dentists</u>					
<u>806</u>	<u>Medical Care Facility</u>			<u>C</u>		<u>8</u>
<u>807</u>	<u>Medical and Dental Laboratories not considered Medical Care Facilities</u>	<u>P</u>			<u>11</u>	<u>11</u>
<u>809</u>	<u>Miscellaneous Health and Allied Services, Not Elsewhere Classified</u>	<u>P</u>				<u>11</u>
<u>81</u>	<u>Legal Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>821</u>	<u>Elementary and Secondary Schools</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>23</u>
<u>823</u>	<u>Libraries</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>5</u>	<u>16</u>
<u>824</u>	<u>Vocational Schools, Except Auto Repair Schools, and Truck and Driving Schools</u>	<u>P</u>		<u>P</u>		<u>23</u>
<u>829</u>	<u>Schools and Educational Services, Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>		<u>23</u>
<u>832</u>	<u>Individual and Family Social Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>833</u>	<u>Job Training and Vocational Rehabilitation Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>835</u>	<u>Child Day Care Services</u>	<u>C</u>		<u>C</u>	<u>12</u>	<u>22</u>
<u>839</u>	<u>Social Services, Not Elsewhere Classified</u>	<u>C</u>		<u>C</u>		<u>11</u>
	<u>Public Housing Support Services</u>	<u>P</u>		<u>P</u>	<u>14</u>	<u>13</u>
<u>841</u>	<u>Museums and Art Galleries</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>14</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>842</u>	<u>Arboreta and Botanical Gardens</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>17</u>
<u>861</u>	<u>Business Associations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>862</u>	<u>Professional Membership Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>863</u>	<u>Labor Unions and Similar Labor Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>864</u>	<u>Civic, Social, and Fraternal Associations</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>15</u>
<u>865</u>	<u>Political Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>866</u>	<u>Religious Organizations, Except Convents, Monasteries, and Schools</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>15</u>
	<u>Churches</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>27</u>
<u>869</u>	<u>Membership Organizations, Not Elsewhere Classified</u>	<u>P</u>		<u>C</u>	<u>2</u>	<u>15</u>
	<u>Meeting and Banquet Halls</u>	<u>C</u>	<u>C</u>	<u>C</u>		<u>15</u>
<u>871</u>	<u>Engineering, Architectural and Surveying Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>872</u>	<u>Accounting, Auditing and Bookkeeping Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>874</u>	<u>Management and Public Relations Services, Offices Only, Not Including Correctional Facilities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>89</u>	<u>Services Not Elsewhere Classified</u>			<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>913</u>	<u>Executive, Legislative and General Government, Except Finance</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>11</u>
<u>92</u>	<u>Justice, Public Order and Safety, Except Correctional Institutions</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>11</u>
<u>93</u>	<u>Public Finance, Taxation and Monetary Policy</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>94</u>	<u>Administration of Human Resource Programs</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>95</u>	<u>Administration of Environmental Quality and Housing Programs, Offices Only</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>96</u>	<u>Administration of Economic Programs, Offices Only</u>	<u>P</u>			<u>5</u>	<u>11</u>
	<u>Municipal Buildings and Structures</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>5</u>	<u>24</u>

ADOPTED by the Council of the City of Chesapeake, Virginia this _____ day of _____, 2020.

APPROVED:

Mayor

ATTEST:

Clerk of the Council

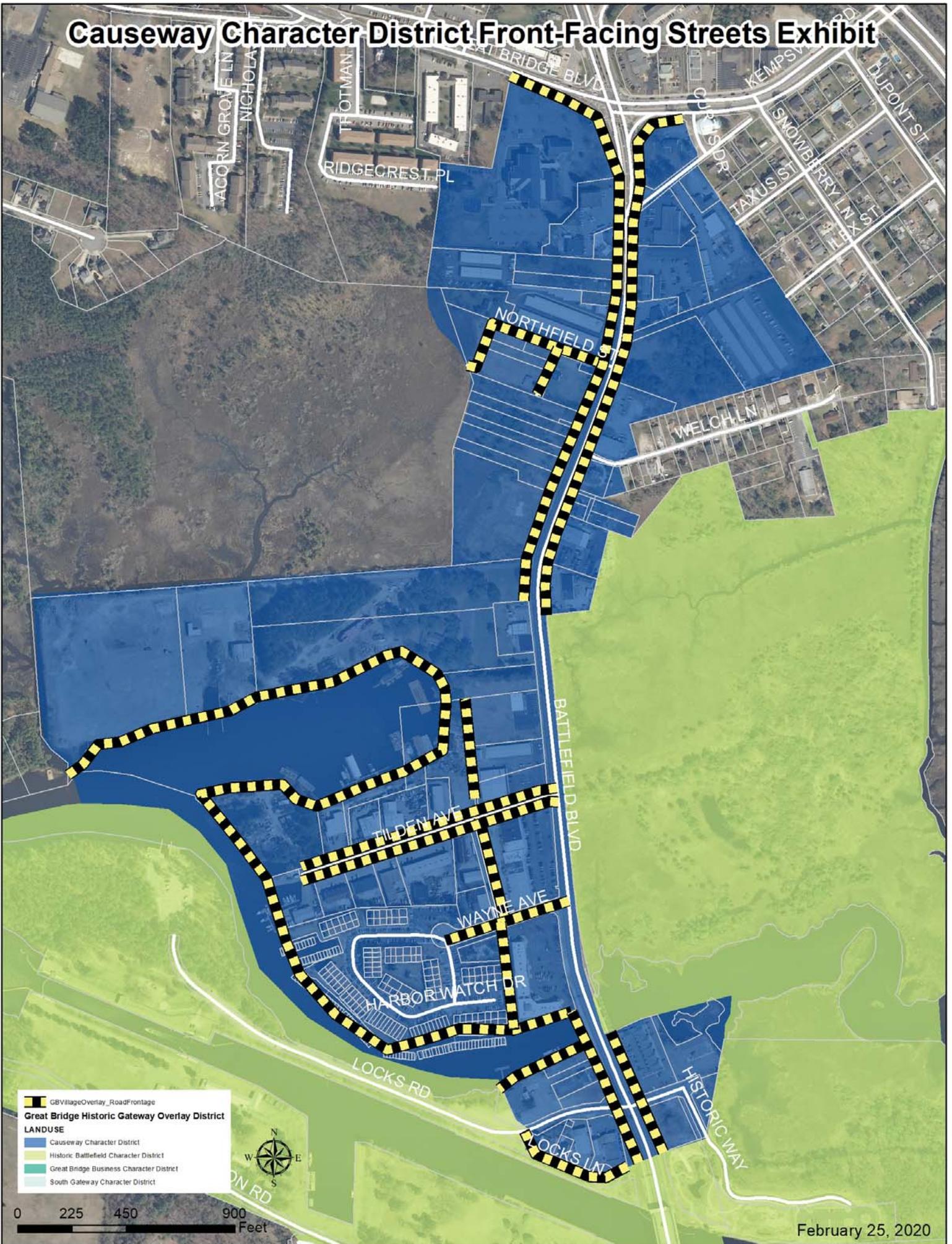
APPROVED AS TO FORM:

Deputy City Attorney

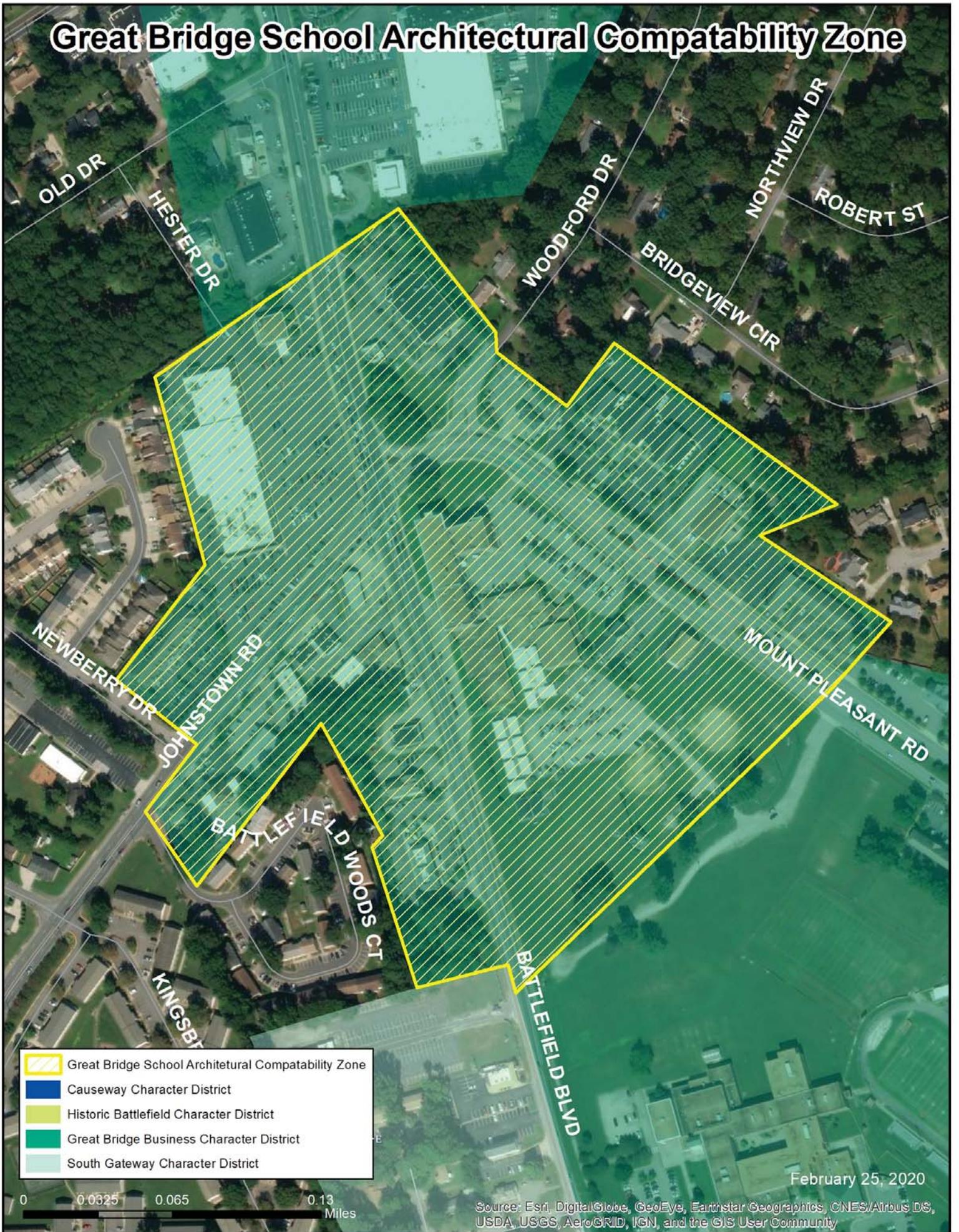
Character Districts of the Great Bridge Historic Gateway Overlay District



Causeway Character District Front-Facing Streets Exhibit



Great Bridge School Architectural Compatability Zone



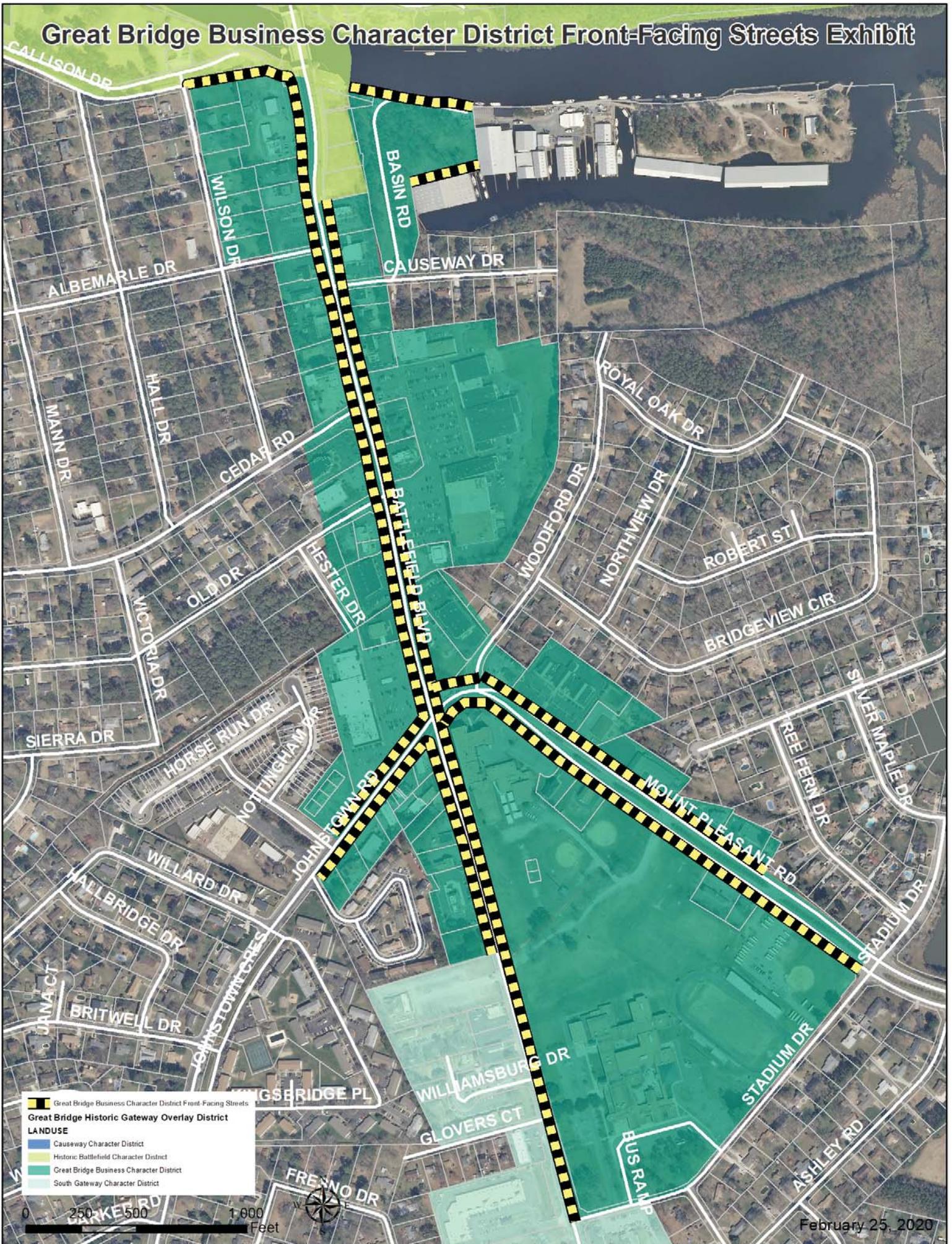
- Great Bridge School Architectural Compatability Zone
- Causeway Character District
- Historic Battlefield Character District
- Great Bridge Business Character District
- South Gateway Character District

0 0.0325 0.065 0.13 Miles

February 25, 2020

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Great Bridge Business Character District Front-Facing Streets Exhibit



 Great Bridge Business Character District Front-Facing Streets
Great Bridge Historic Gateway Overlay District
LANDUSE
 Causeway Character District
 Historic Battlefield Character District
 Great Bridge Business Character District
 South Gateway Character District



Great Bridge Historic Gateway Overlay District

PLN-TXT-2019-011



Report Date: April 28, 2020

City Council Approval: TBD

Great Bridge Historic Gateway Overlay District

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1. Statement of Need

The intention for the proposed Great Bridge Historic Gateway Overlay District, particularly as it relates to the Causeway and Great Bridge Business Character Districts, is not to overdevelop these districts, but rather to help ensure that future development and redevelopment activities are compatible with the historic and cultural amenities contained within the Historic Battlefield Character District.

2. Background

2.1 History

The Great Bridge Historic Gateway Overlay District includes several sites listed on the National Register of Historic Places and the Virginia Landmarks Registry. The two sites, the Albemarle and Chesapeake Canal Historic District and the site of the Great Bridge Battle (Battlefield), are located in the Historic Battlefield Character District.

The Albemarle and Chesapeake Canal Historic District was listed on the Virginia Landmarks Registry in 2002 and the National Register of Historic Places in 2004. It is part of the Atlantic Intracoastal Waterway and carries both recreational and commercial boat traffic. The 9.1 mile long and 90 foot wide Virginia Cut of the Albemarle and Chesapeake Canal, which connects the Southern Branch of the Elizabeth River to the North Landing River, was constructed in 1859. The Albemarle and Chesapeake Canal was one of the first canals to be designed for steam-powered vessels. It was also the first canal in Virginia to be built entirely by steam dredging, rather than by hand. The Canal was under Union control during the Civil War but remained intact after the war.

There are eleven (11) contributing resources to the Albemarle and Chesapeake Historic District and eight (8) non-contributing resources. Eight (8) of the contributing structures, built between 1917 and 1948, are on the Army Corps of Engineers Reservation; these structures include auto storage, vehicle repair shops, a machine shop, warehouses, shops, sheds, and an office. The North Landing Bridge also contributes to the Albemarle and Chesapeake District; however, it is located on the Atlantic Intracoastal Waterway between the border of Chesapeake and Virginia Beach, outside the boundaries of the Great Bridge Historic Gateway Overlay District. The final two (2) contributing resources to the Albemarle and Chesapeake Canal Historic District include the Great Bridge Lock and the Battlefield site.

The Great Bridge Lock is located at the western end of the Virginia Cut of the Albemarle and Chesapeake Canal. Its primary function is to prevent saltwater intrusion from the Southern Branch of the Elizabeth River into the freshwater of the North Landing River and to control tidal currents from these two rivers. The first Great Bridge Lock was built by the Albemarle and Chesapeake Canal Company in 1859. The original Great Bridge Lock survived until 1917, when the Canal was widened. There was no lock for fifteen years until the new Great Bridge Lock was completed on June 16, 1932.

The Great Bridge Battle site (Battlefield) was individually listed on the Virginia Landmarks Registry in 1971 and the National Register of Historic Places in 1973. It is

also a contributing resource to the Albemarle and Chesapeake Canal Historic District. The Great Bridge Battlefield is the site of the first military engagement in Virginia for the American Revolutionary War. The Battle of Great Bridge, from which the community of Great Bridge derives its name, was fought on December 9, 1775. The battle ended in victory for the American Patriots and forced the retreat of Virginia Royal Governor, Lord Dunmore, and his British troops. A re-enactment of the Battle of Great Bridge is held every year in December near the site of the original battle. In the fall of 2019, the City and Great Bridge Battlefield and Waterways History Foundation completed the construction of a museum and visitor center (scheduled to open to the public in mid-2020), dedicated to preserving the history of the Battle of Great Bridge and the waterways of Chesapeake, including the Albemarle and Chesapeake Canal, in the Great Bridge Battlefield and Waterways Historic Park (hereinafter referred to as Battlefield Park).

2.2 Past Studies/Planning Efforts

The Great Bridge Village Design Guidelines were adopted by City Council in December 2008. In part, a catalyst for the study was the replacement of the Great Bridge Bridge in 2001, which fostered the realization by the City of the numerous development and redevelopment opportunities the Great Bridge Village had to offer. With these opportunities in mind, the City arranged for the preparation of a Master Plan of Great Bridge Village in 2005, with the following objectives: provide protection and recognition of the Great Bridge Battlefield of 1775; incorporate plans for a visitor center; provide compatible economic development opportunities; protect and enhance the area's natural resources; capitalize on the waterways; identify strengths, weaknesses, opportunities and threat to the Great Bridge Village neighborhoods; and establish design and land use guidelines. To this end, the Great Bridge Battlefield & Waterways History Foundation prepared and submitted to the City a report entitled "Architectural Review Study for Great Bridge Village" in September 2007. Additionally, a further in-depth SWOT analysis of the Causeway District, along with a compilation of stakeholder input for the Great Bridge Village Plan, was performed by a Planning intern in 2009.

Strengths, Weaknesses, Opportunities, and Threats (SWOT Analysis)

Strengths:

- Rich history
- Water accessibility
- Perception of safe community
- Diversity of land use
- Distinct character

Weaknesses:

- Lack of diverse destination amenities, especially for transient boaters. e.g. lodging
- Lack of consistent, identifiable architectural themes in current buildings
- Lack of wayfinding and landmark signage
- Poor multi-modal transportation options, especially for pedestrians

Opportunities:

- Create a unifying architectural style
- Strengthen the core Great Bridge Village as a destination place
- Develop public-private partnerships for development and redevelopment
- Create pedestrian interaction with the waterfront

Threats:

- Lack of enforceable design standards
- Inconsistent and/or incompatible architecture and land uses
- Lack of clear identify or direction for Causeway and Great Bridge Business Districts

Given the commercial, historic, and recreational importance of the waterways in and around the Great Bridge Village, various studies were conducted for evaluation and remediation of derelict vessels, as follows:

- “Elizabeth River Derelict Structure Inventory,” Virginia Marine Resources Commission, January 1997
- “An Historical and Architectural Assessment of the Remains of Derelict Vessels Abandoned in the Southern Branch of the Elizabeth River in the City of Chesapeake, Virginia,” Tidewater Atlantic Research, Inc., October 1999
- “An Historical and Archaeological Assessment of the Remains of Derelict Vessel SB-77 Abandoned in the Southern Branch of the Elizabeth River in the City of Chesapeake, Virginia,” Tidewater Atlantic Research, Inc., March 2000
- “Recordation of Three Historic Watercraft Southern Branch of the Elizabeth River Chesapeake, Virginia,” Pan-American Consultants, Inc., April 2005

- “City of Chesapeake, Virginia Underwater Salvage and Pollution Control Plan of Derelict Vessels from the South Branch of the Elizabeth River,” RM Underwater technologies, Inc., circa 2004

2.3 Development Activity

The Great Bridge Village, and in particular the Historic Battlefield District, has long been a center of trade, focused on the junction of key roadways and waterways. The area has evolved slowly, from a rural colonial village to a suburban, residential development pattern with supporting local business and retail. Despite its rich history, the Great Bridge Village has developed in an inconsistent pattern through the years, resulting in commercial areas that are disconnected from the waterways and surrounding neighborhoods.

Outside the recent completion of the Great Bridge Battlefield and Waterways Visitor Center (hereinafter referred to as the new museum and visitor center), there has not been any significant new development in the core study area in decades. There still exist many commercial and retail uses in the core study area, although they have declined in number and variety. Thrift stores, pawn shops, and other lesser commercial activities have begun to proliferate as commercial vacancies become increasingly difficult to fill. However, interest in restaurants continues to be strong, particularly those with waterfront dining.

3. Existing Conditions Description

3.1 Description of Study Area

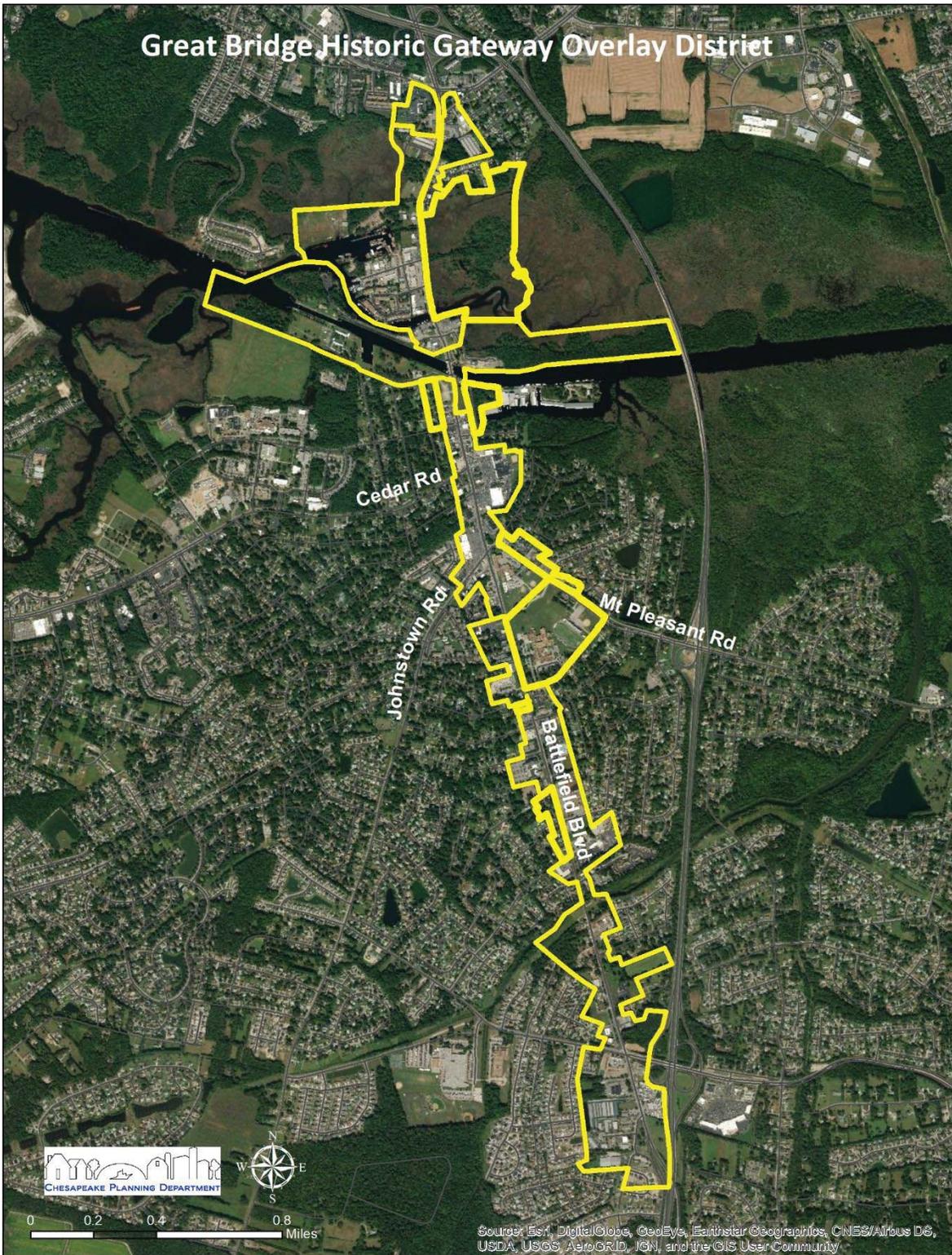
The Great Bridge Historic Gateway Overlay District is comprised of four character districts: the Causeway, the Historic Battlefield, the Great Bridge Business, and the South Gateway Character Districts (see section 6.2). There are 575 parcels totaling 684 total acres within the Causeway Character District (134 ac), Historic Battlefield Character District (212 ac), Great Bridge Business Character District (133 ac), and South Gateway Character District (205 ac). Multiple properties are owned by a single owner, including the City of Chesapeake with 14 properties. Land use patterns in the core part of the Overlay District have historically been influenced by the natural features such as tidal creeks and marshes, as well as man-made features such as the Intracoastal Waterway, Albemarle and Chesapeake Canal, Great Bridge Locks, and Great Bridge Bridge.

As illustrated in the map below, the approximate boundaries of the Great Bridge Historic Gateway Overlay District begin just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road and include primarily non-residential properties fronting on the east and west sides of Battlefield Boulevard North. Moving south, properties fronting on Tilden Avenue, Billy Flora Way, Wayne Avenue, and Watson Road are included, as is a large marshy/tidal area on the east side primarily owned by the City. Additionally, the Overlay District includes the public properties to the

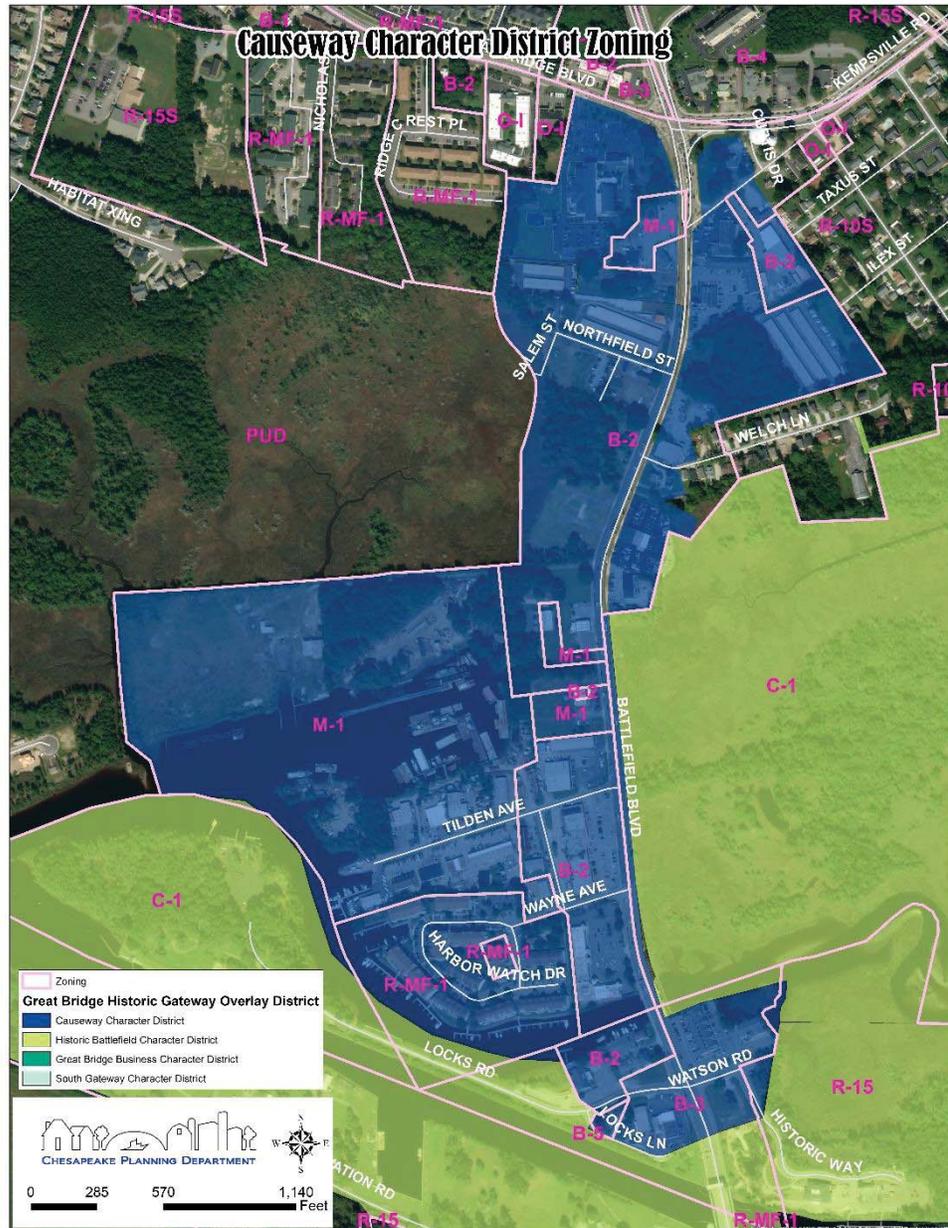
east and west of Battlefield Boulevard, along the Albemarle and Chesapeake Canal, near the Great Bridge Bridge. These properties include the Great Bridge Lock Park, properties north of Reservation Road, Battlefield Park South, and properties in Battlefield Park.

The Overlay District continues south across the Great Bridge Bridge to include properties fronting on Battlefield Boulevard South, as well as properties fronting on the east side of Wilson Drive between Albemarle Drive and Callison Drive. Undeveloped property along the east side of Basin Road is also included. Continuing south, properties fronting on the east and west sides of Battlefield Boulevard are included, as are properties near the intersection of Battlefield Boulevard South with Johnstown Road and Mount Pleasant Road. The Chesapeake Public Schools Educational Services Center/SECEP, historic Great Bridge School, and Great Bridge Middle School properties are included. Properties fronting on the north and south sides of Mount Pleasant Road to a point near the entrance to the football stadium are also included. Continuing south toward Battlefield Boulevard's intersection with Hanbury Road, fronting properties on the east and west sides are generally included. Finally, the Overlay District terminates just south and west of the intersection of Battlefield Boulevard and the Chesapeake Expressway (see the Great Bridge Historic Gateway Overlay District map below).

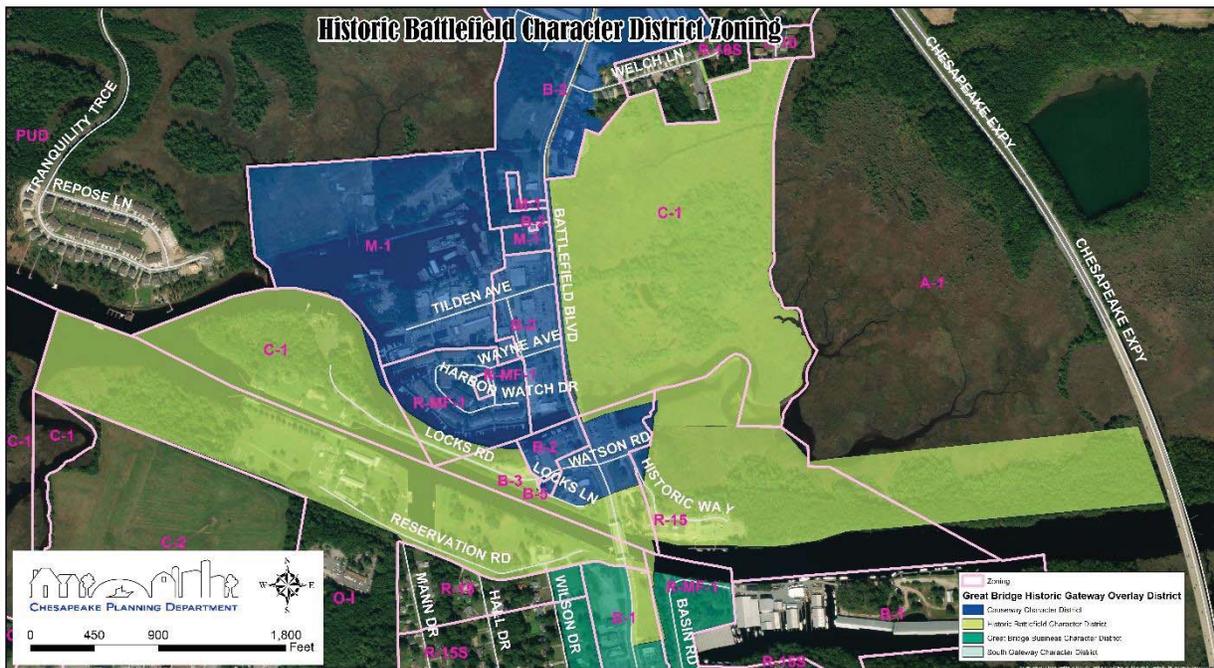
Great Bridge Historic Gateway Overlay District



The approximate boundaries of the Causeway Character District begin just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road and include primarily non-residential properties fronting on the east and west sides of Battlefield Boulevard North. Moving south, properties fronting on Tilden Avenue, Billy Flora Way, Avenue, and Watson Road are included, as is a large marshy/tidal area on the east side primarily owned by the City. The District terminates just south of the intersection of Watson Road and Locks Road. There are two zoning districts in the Causeway Character District, the B-2 General Business District and the M-1 Light Industrial District (see Causeway Character District Zoning Map). Land uses in this District include light industrial, attached condominiums, and shopping centers with a mix of restaurants, offices, and retail. Four public properties are owned by the City of Chesapeake, including two properties on Historic Way and pump stations on Locks Road and Tilden Avenue.

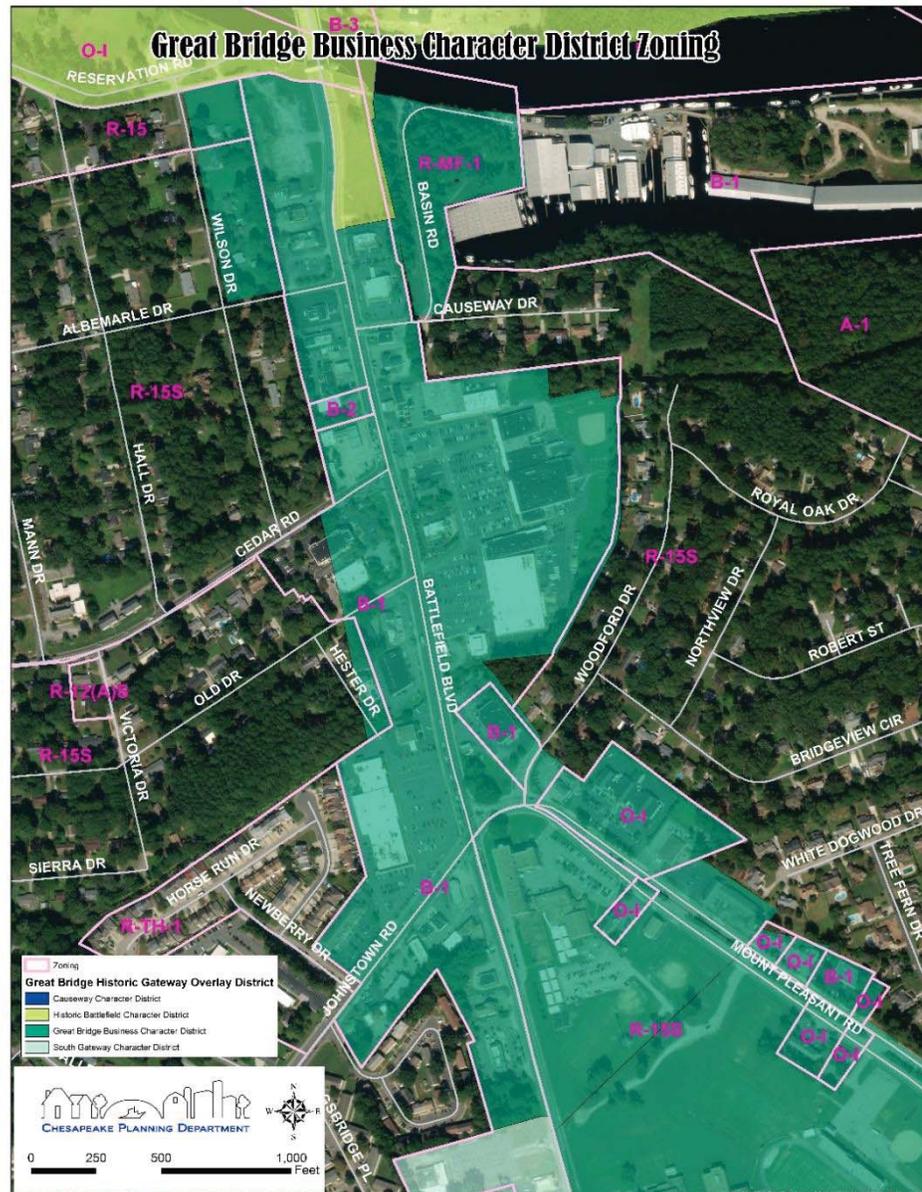


The approximate boundaries of the Historic Battlefield Character District, from west to east along the Albemarle and Chesapeake Canal, include twelve public properties owned by the Army Corps of Engineers (ACOE) and the City of Chesapeake. Some parcels owned by the ACOE in this area are leased by the City of Chesapeake for public park use. These properties include the Great Bridge Lock Park, properties north of Reservation Road, the site of the Battle of Great Bridge, and properties in Battlefield Park. The Historic Battlefield Character District contains a mix of zoning districts, including the C-2 Conservation District, R-15 Residential District, O-I Office and Institutional District, R-MF-1 Multifamily Residential District, and B-3 Highway Business District (see Historic Battlefield Character District Zoning). The land uses in this District include the new visitor center and museum, trails, water recreation, park lands, and other conservation uses.



The approximate boundaries of the Great Bridge Business Character District begin just south of Reservation Road at the Great Bridge Bridge. Properties fronting on both sides of Battlefield Boulevard South, as well as properties fronting on the east side of Wilson Road between Albemarle Drive and Callison Drive, are included. Undeveloped property on the east side of Basin Road is also included. The District continues south along Battlefield Boulevard to the intersection with Johnstown Road/Mount Pleasant Road and includes properties near the intersection. Properties fronting on the north and south sides of Mount Pleasant Road to a point near the entrance to the football stadium are also included. The Great Bridge Business Character District contains the B-1 Neighborhood Business Zoning District (see Great Bridge Business Character District Zoning). Three public properties, south of the intersection of Battlefield Boulevard and Mount Pleasant Road, are the location for the Chesapeake Public Schools Educational Services Center/SECEP Program, including the three-story Great

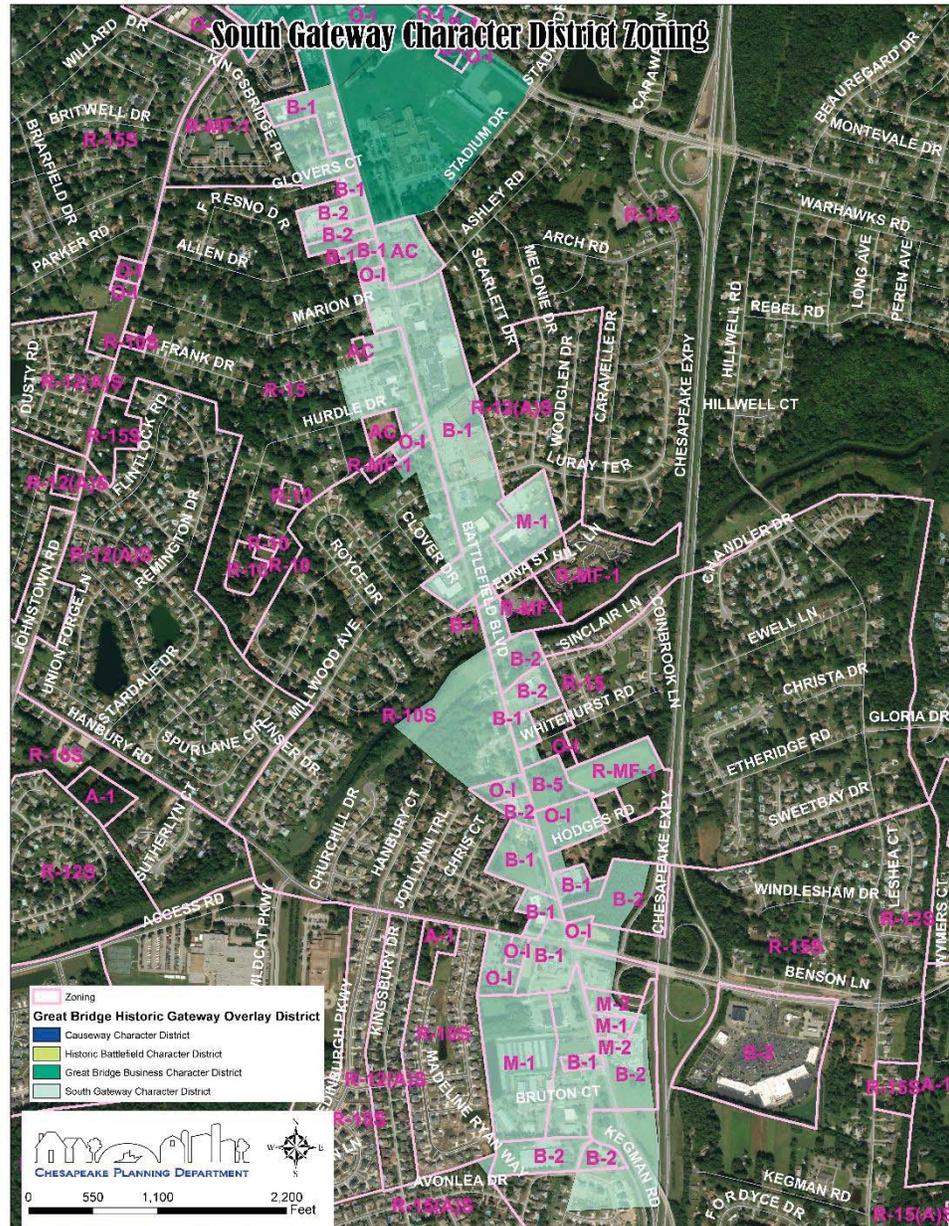
Bridge School, and the Great Bridge Middle School property. The land uses in this area are a school and other low-density commercial uses such as seated dining, fast food restaurants, shopping centers with a mix of commercial uses, banks, gas stations, auto repair, and other commercial and retail uses.



The approximate boundary of the South Gateway Character District begins just south of Battlefield Woods Court, past the intersection of Battlefield Boulevard South with Johnstown Road/ Mount Pleasant Road. The District continues south along Battlefield Boulevard where it terminates just west and south of the intersection of Battlefield Boulevard South and the Chesapeake Expressway. The South Gateway Character District includes a mix of zoning districts, including B-1 Neighborhood Business District,

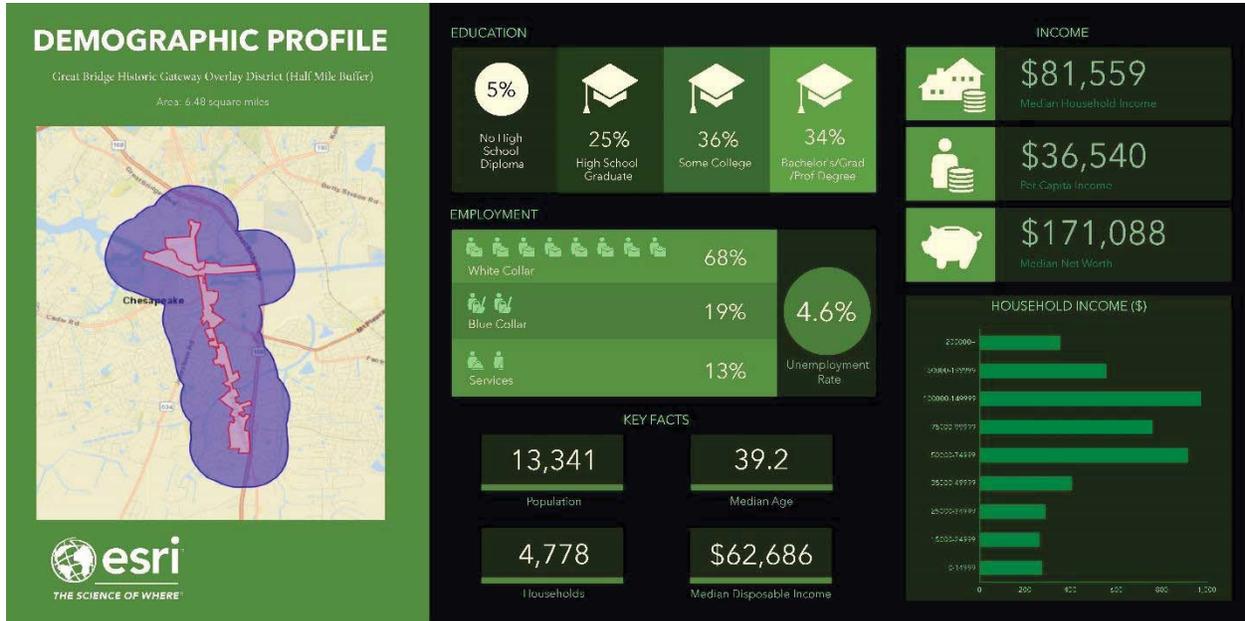
B-2 General Business District, R-MF-1 Multifamily Residential District, AC Assembly Center District, O-I Office and Institutional, and M-1 Light Industry (see South Gateway Character District Zoning map). There are three public properties; pump stations on Millwood Avenue and Battlefield Boulevard and the main post office just south of Hanbury Road on Battlefield Boulevard. The land uses in this District include

restaurants, apartments, churches, shopping centers with a mix of commercial and retail uses, a YMCA recreation center, brewery, and other commercial, office, and retail uses.



3.2 Demographics and Trends

In 2019, an estimated 13,341 people and 4,778 households lived within a half mile buffer of the Great Bridge Historic Gateway Overlay District (see below). There are an estimated 4,979 residential units with 62.8% of the units owner-occupied and 4.0% vacant (ESRI 2019). The median household income is an estimated \$81,559 with most people (68%) employed in white collar occupations. 72.8% of the population is white alone and 17.9% is black alone. The median age is 39.2 years old (ESRI 2019).

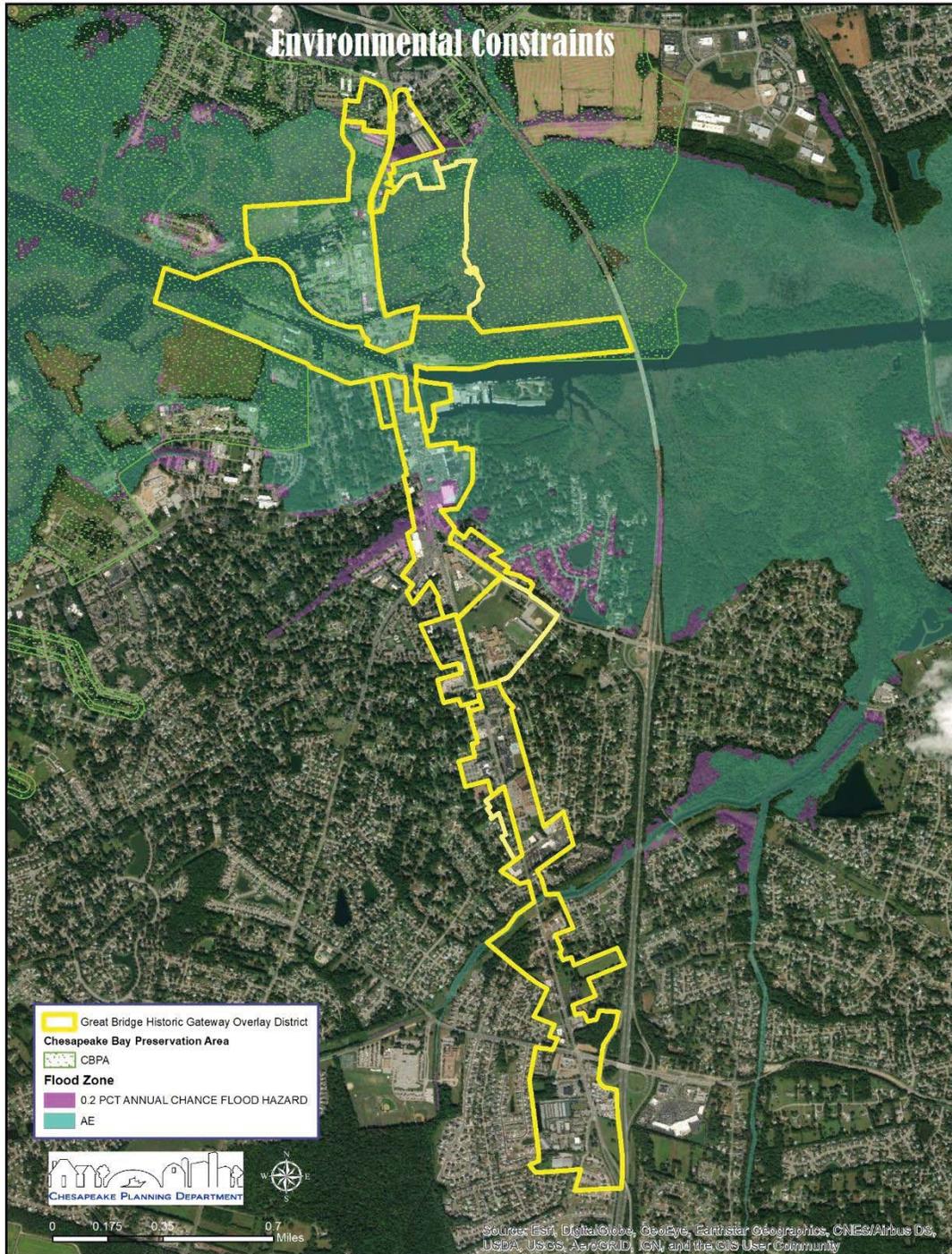


2019 Population by Race/Ethnicity	
Total	13,340
White Alone	72.8%
Black Alone	17.6%
American Indian Alone	0.3%
Asian Alone	3.7%
Pacific Islander Alone	0.2%
Some Other Race Alone	1.5%
Two or More Races	3.9%
Hispanic Origin	6.2%

Source: ESRI

3.3 Environmental Constraints

The various natural and man-made waterways, marshes, creeks, drainage ditches, ponds and other water features that are located in, or adjacent to, the study area contribute to its character and functionality, but can also become constraints to development and redevelopment. As illustrated by the map below, portions of the study area are particularly impacted by the Chesapeake Bay Preservation Area and flood



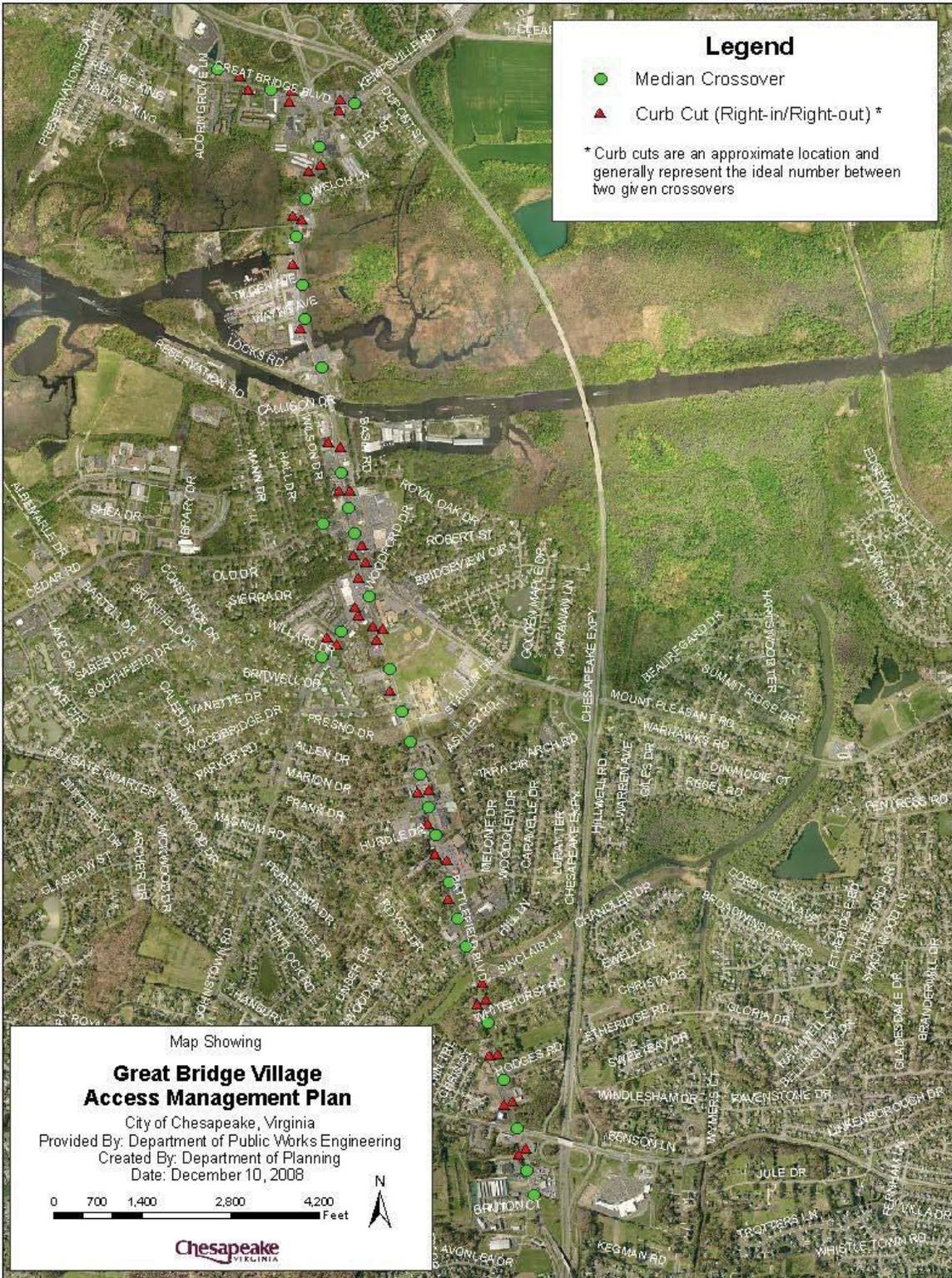
zone coverages, including the Causeway Character District, Historic Battlefield Character District, and northerly portion of the Great Bridge Business Character District. Poorly drained and hydric soils are also present in these areas, with tendencies toward subsidence and erodibility in the Causeway District. Due to the generally built-out land use pattern along much of the study area, satisfying Total Maximum Daily Load (TMDL) limits for storm water runoff may be an issue for new development or redevelopment.

4. Transportation and Access Management Plan

The primary roadways serving the Great Bridge Historic Overlay District are Battlefield Boulevard, Great Bridge Boulevard, Albemarle Drive, Cedar Road, and Mount Pleasant Road. Battlefield Boulevard functions as the north-south artery for the area while Great Bridge Boulevard, Cedar Road, Albemarle Road, and Mount Pleasant Road provide east-west access for through traffic and residents. The 2035 Comprehensive Plan and accompanying 2050 Master Transportation Plan recommend improvements to these roadways to enhance vehicle and pedestrian safety, as well as improve traffic flow. The 2050 Master Transportation Plan recommends that Battlefield Boulevard accommodate six travel lanes from Kempsville Road/Great Bridge Boulevard to Mount Pleasant Road and four travel lanes from Mount Pleasant Road to Etheridge Manor Road/Hanbury Road. Along an expanded Battlefield Boulevard, the 2050 Master Trails Plan calls for on-street bike lanes and a sidewalk. Expansions of Mount Pleasant Road and Cedar Road are also recommended to accommodate six lanes of traffic.

Further recommendations are outlined for Battlefield Boulevard in the 2008 Great Bridge Village Plan. This plan recommends Battlefield Boulevard having a raised median with plantings and crossing treatments for pedestrians to provide refuge areas with the goal of encouraging pedestrian use and improving safety. Additionally, access points and turning movements should be limited on Battlefield Boulevard to help with traffic flow and overall safety, right in/right out only turns are encouraged, and shared access should be encouraged. The Great Bridge Village Plan also recommends improvements in transportation related design by installing sidewalks with treatments in main village areas. Crossing treatments and landscaping are additional tools to encourage place making and distinguish vehicular and pedestrian areas.

To create the desired village setting and promote pedestrian activity, access management and traffic flow will be important elements in the successful implementation of recommendations from the 2035 Comprehensive Plan and 2008 Great Bridge Village Design Guidelines. There are numerous turning movements and heavy congestion during peak travel times of the day on the primary roadways. Some infrastructure improvements have already been made, such as sidewalk and curb cut enhancements at the Great Bridge Boulevard/Battlefield Boulevard/Kempsville Road intersection. Further modifications to improve traffic flow at this site have been approved by City Council with the recent five year Capital Improvement Plan. However, the amount of traffic on Great Bridge roadways and the quantity of turning movements present challenges to vehicular and pedestrian flow.



1. While coordinated land use and design can be a good foundation for an area vision, allowing some diversity in design can also contribute to the area's uniqueness.
2. Vacant or dilapidated properties should be addressed proactively.
3. Traffic congestion and neighbors' resistance to change are issues that will need to be addressed in the Causeway District, including a robust education and public awareness outreach effort to promote the plan vision while addressing concerns.
4. Key implementation strategies should be funded.

Additionally, because of its importance as a City Council adopted policy of the Comprehensive Plan, the Great Bridge Village Design Guidelines, in addition to establishing the blueprint for future development of this area, has also served to augment preservation of the historic Great Bridge Battlefield site. In particular, Comprehensive Plan policies for the Great Bridge Village have been used in the past to support federal Transportation Enhancement grant applications intended to facilitate development of the Great Bridge Battlefield and Waterways History Foundation Historic Park and Museum/Visitor Center.

6. Detailed Regulations Based on the Great Bridge Village Design Guidelines (2008)

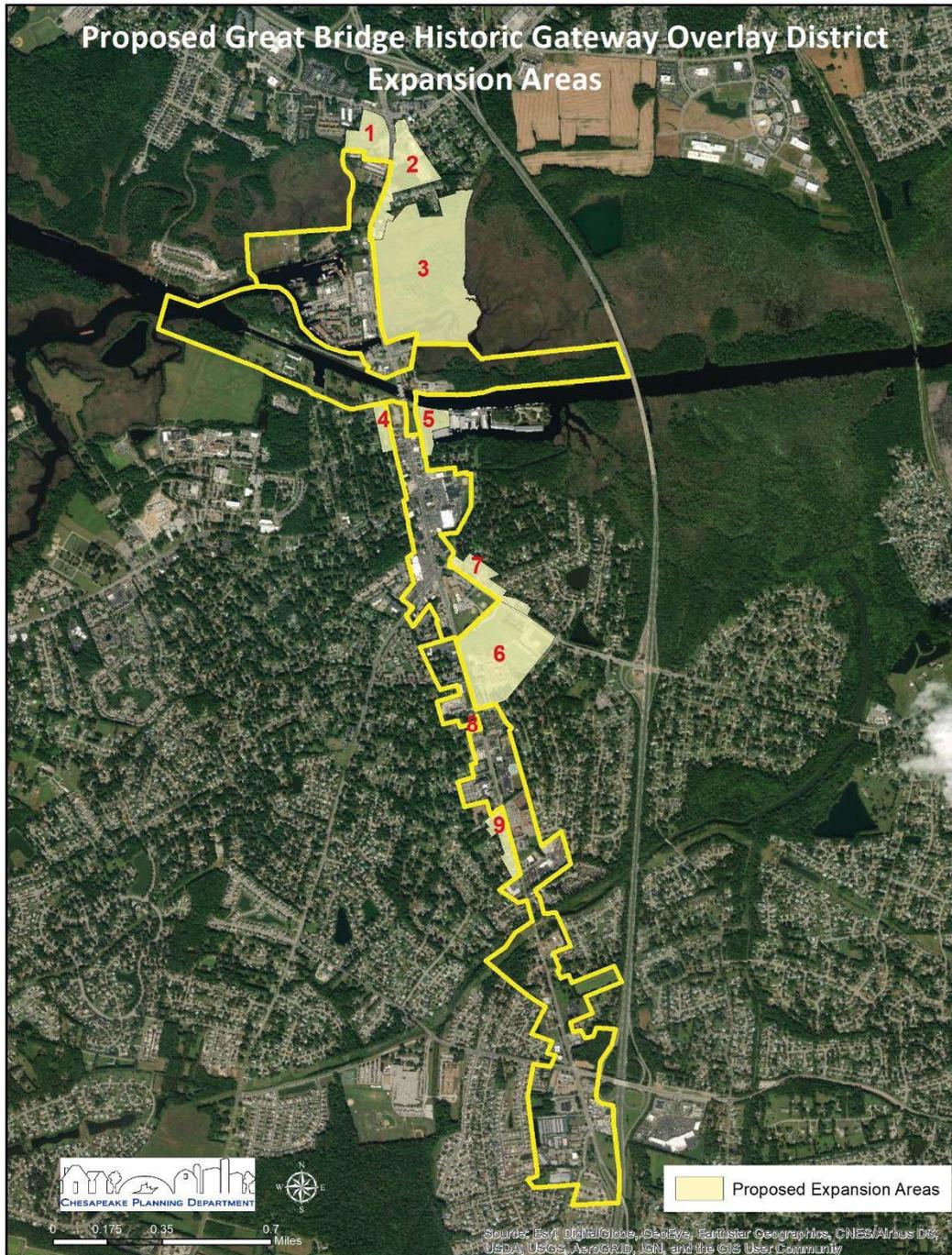
6.1 Applicability of Regulations

The Great Bridge Historic Gateway Overlay District shall include those areas designated as the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District, as identified on the map below entitled "Character Districts of the Great Bridge Historic Gateway Overlay District" and dated February 25, 2020:



These character districts are modeled after, but do not exactly correspond to, the Causeway District, Historic Battlefield District, Great Bridge Business District, and South Gateway District contained in the Great Bridge Village Design Guidelines. Based on input received during two identical public workshops held in the morning and evening on January 27, 2020, at the Chesapeake Central Library to educate the public and receive input on the proposed overlay district, boundaries of the proposed character districts

and proposed development standards were revised. Below is a map entitled “Proposed Great Bridge Historic Gateway Overlay District Expansion Areas,” which identifies the proposed areas for expansion beyond the boundaries of the 2008 Great Bridge Village Design Guidelines Districts.



Referencing the identifier numbers for the proposed expansion areas shaded in light yellow on the above map, below is a description of each area and rationale for inclusion:

Expansion Area	Description/Rationale
1	West side of Battlefield Blvd. N., from just south of intersection with Great Bridge Blvd./Kempsville Rd. to just north of self-storage complex, where original Causeway District begins. Area includes Oak Grove UMC and properties fronting on Battlefield Blvd. Area included to ensure that future redevelopment or major exterior renovations in this northern approach to the Causeway Character District will be compatible with District development standards. The area is currently in transition and has a lack of cohesive development styles.
2	East side of Battlefield Blvd. N., from just south of intersection with Great Bridge Blvd./Kempsville Rd. to Wargo Automotive property, where expanded area ends. Area includes American Legion leased property and commercial properties fronting on Battlefield Blvd. Area included to ensure that future redevelopment or major exterior renovations in this northern approach to the Causeway Character District will be compatible with development standards. The area currently displays a high degree of visual clutter.
3	Marshy/tidal/wetland area owned by the City on east side of Battlefield Blvd. N. from just south of Welch Lane to northern boundary of original Historic Battlefield District. Area included to ensure that despite current environmental constraints, any future uses in this area will be compatible with development standards for the Historic Battlefield Character District.
4	Residential properties fronting on east side of Wilson Dr. between Albemarle Dr. and Callison Dr. Area included to ensure that future redevelopment of properties fronting on Battlefield Blvd. S. in this same block seeking to incorporate Wilson Dr. properties will be compatible with development standards for the Great Bridge Business Character District and Great Bridge Village Access Management Plan, and provide protections for the existing neighborhood.
5	Undeveloped waterfront property east of Battlefield Blvd. S. along Basin Rd. and fronting on Albemarle and Chesapeake Canal. Area included to ensure that future development of the property will be compatible with development standards for the Great Bridge Business Character District.
6	Great Bridge Middle School property. Area included to ensure that any future redevelopment or major exterior renovations will be compatible with development standards for the Great Bridge Business Character District and the Architectural Compatibility Zone around the three-story Great Bridge School complex to the north. Expanded area also includes several commercial properties fronting on south side of Mt. Pleasant Rd.
7	Properties fronting on the north side of Mt. Pleasant Rd. from a point near the entrance to the Great Bridge Middle school football stadium and heading westward to the intersection with Woodford Dr. Expanded area includes a small strip shopping center, veterinary clinic, church, child day care facility, Towne Bank, and a legal office. Area included to ensure that future redevelopment or major exterior renovations along this approach to the Battlefield Blvd. corridor will be compatible with development standards for Great Bridge Business Character District and relate positively to the Great Bridge Middle School site across the road.
8	Corner properties at intersection of Allen Dr. and Battlefield Blvd. S. Area included to ensure that future development or redevelopment will be compatible with development standards for the South Gateway Character District and will contribute to the overall appearance and connectivity of the corridor.

9	Properties fronting on west side of Battlefield Blvd. S. from a point just south of Great Bridge Church of Christ property to intersection of Battlefield Blvd. and Millwood Ave. Area included to ensure that future redevelopment or major exterior renovations will be compatible with development standards for South Gateway Character District and will contribute to the overall appearance and connectivity of the corridor.
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The development standards for the Great Bridge Historic Gateway Overlay District shall apply to new construction of a principal structure that occurs after the effective date of the establishing ordinance and major exterior renovations to an existing principal structure within the areas designated as the Causeway Character District, Historic Battlefield District, Great Bridge Business Character District and the South Gateway Character District. For purposes of the ordinance, the term “major exterior renovations” shall include any reconstruction, rehabilitation, addition or other improvement, the cost of which equals or exceeds fifty percent (50%) of the building’s assessed value as determined by the most recent assessment by the City’s Real Estate Assessor. In the event of a conflict, the standards set out in the ordinance will supersede any contrary Zoning Ordinance provision.

City Council approved the Great Bridge Village Design Guidelines on December 16, 2008. The Guidelines will be incorporated by reference in the Great Bridge Historic Gateway Overlay District establishing ordinance and shall apply to applicable properties as outlined in the ordinance, as determined by the Planning Director or designee. The Great Bridge Village Design Guidelines may only be amended by City Council in the same manner as amendments to the Zoning Ordinance.

For properties located in the South Gateway Character District, development shall conform to the development standards of the underlying zoning district. However, any proposed construction or exterior reconstruction, alteration or restoration of a building, structure or sign within the district may not occur until it is reviewed by the Planning Director, or designee, for compliance with the standards applicable to the district. No building permit issued for such work shall be valid until the work has been approved by the Planning Director, or designee, as being in conformance with TCOD standards.

In all cases, Article 15 of the Chesapeake Zoning Ordinance, entitled Nonconformities and Status of Approved Development Plans, i.e., “grandfathering provisions” or “vested rights” remains in full force and effect with the adoption of the Great Bridge Historic Gateway Overlay District.

6.2 Development Standards

The Causeway Character District

The Causeway Character District includes properties fronting on Battlefield Boulevard North from just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road in the north to Watson Road in the south. The District also includes those properties located behind the properties fronting on Battlefield Boulevard and extending east and west to the surrounding waterways and marshlands. The intent of the Causeway Character District is to foster the development and redevelopment of land uses associated with a mixed use community waterfront village that promotes and preserves the historic significance of the area. Unlike the Great Bridge Business Character District, the Causeway Character District does not have a direct connection to adjacent residential areas and is surrounded on the east and west by waterways and other natural resources; therefore it is well suited to the development of a positive and compatible relationship to the Battle of Great Bridge historic site, as well as the historically significant Albemarle and Chesapeake Canal (A&C Canal). All development in the Causeway Character District must be sensitive to these aspects of the area, as well as environmental considerations and constraints. Furthermore, any development must also be sensitive to transportation infrastructure limitations.

Development within the Causeway Character District will be conducted in a manner that addresses the following objectives:

- Promotion of environmental remediation and reclamation of lands that have been exposed to contamination;
- Consideration for environmentally sensitive areas through the implementation of appropriate buffers, building techniques, methods, and materials;
- Reduction in visual clutter through the development of a cohesive design aesthetic, sensible signage, and well considered landscape buffers;
- Minimizing impact to existing traffic challenges by reducing access points to Battlefield Boulevard, creation of shared access points, and implementation of the Great Bridge Village Access Management Plan;
- Establishment of safe and functional pedestrian and other non-automobile modes of transportation opportunities throughout the District and along Battlefield Boulevard; and
- All development, residential or otherwise will comply with the City's development timing policies, including, but not limited to, the Planning and Land Use Policy (LOS Policy).

To this end, development within the Causeway Character District will occur with a common focal point of the adjacent waterways and natural areas. New development will occur in a manner that does not compromise or detract from these amenities and maximizes the advantages created by these features. Parking and other accessory and supportive land uses should be located inward and away from significant features. Interior circulation streets shall be treated as the “fronting” streets with buildings oriented in these directions with front setbacks measured from these roadways. In some cases, the “front-facing street” is a waterway; in these cases, setbacks will be reviewed with a sensitivity to the waterway on which they front. The below map entitled “Causeway Character District Front-Facing Streets Exhibit” depicts which streets within this district shall be considered front-facing streets:



Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the Causeway Character District as opposed to providing direct access to individual land uses. Accessory land uses that abut Battlefield Boulevard shall include landscaped buffers that include pedestrian / bikeway infrastructure. The street cross sections included in the Great Bridge Village Design Guidelines shall be used in the development of individual site plans to establish a consistent development pattern along streets. The Great Bridge Village Design Guidelines will be used as the standard for the evaluation and approval of development proposals.

New development within the Causeway Character District shall comply with the MXD-U, Mixed Use Urban District development standards, unless otherwise specified in the ordinance. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. The following specific development standards contained in the ordinance are highlighted:

- The mixture of uses in this district shall include at least two (2) different classifications of land use (office, hotel, residential or retail). The Great Bridge Village Design Guidelines is supportive of live-work opportunities; however, residential development is not required as a component of mixed use in the Causeway Character District. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807.D. of the ordinance.
- The maximum height of a building or structure shall not exceed four (4) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit by City Council. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines, including massing.
- As noted above, development within this District shall be oriented toward front-facing streets, with parking and other accessory uses located inward and away from waterways and natural features to maximize the advantages created by these features. Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the District as opposed to providing direct access to individual land uses. Vehicle entrances shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee. Joint access for vehicle entrances will be encouraged.
- The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. However, the Planning Director or designee may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for

good cause shown as to the need for the variation. Build-to lines shall be established that accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks, and other amenities. Building frontages shall align along the street. Corner lots and buildings with multiple frontages shall provide primary consideration for pedestrian activity. Building fronting streets are shown above in the map exhibit entitled "Causeway Character District Front-Facing Streets Exhibit." Lots that are adjacent to waterways shall be considered to have dual frontage on both the fronting street and the waterway.

- Buffer areas shall be provided in accordance with the requirements for B-2, General Business Districts, as set forth in Section 19-600 et seq. of the Zoning Ordinance; provided that development abutting residentially zoned or used properties shall install and enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set forth in the adopted Great Bridge Village Design Guidelines. The following exceptions apply:
 - When the width of any setback is less than the required width of a buffer area under Section 19-600 et seq. of the Zoning Ordinance, the buffer area width may be reduced; provided that the amount and types of structures and/or plants required under Section 19-600 of the Zoning Ordinance must be installed within the reduced setback area to the maximum extent possible. The arrangement of the structures and plants shall be subject to review and approval by the City's Landscape Coordinator.
 - When the front yard setback is zero (0) feet, no front yard buffering shall be required.
 - Properties that abut, but do not front on Battlefield Boulevard North, as illustrated on the map entitled "Causeway Character District Front-Facing Streets Exhibit" shall install a street buffer frontage yard meeting or exceeding the requirements of Zoning Ordinance Section 19-600 along Battlefield Boulevard North. All such buffer yards shall include a pedestrian features to provide pedestrian connectivity throughout the corridor.
- A signage plan shall be submitted to the Planning Director during project review as set forth in the ordinance. Signs in the Causeway Character District shall comply with the adopted Great Bridge Village Design Guidelines and the requirements for residential districts as specified in Section 14-700 et seq. of the Zoning Ordinance. In the event of a conflict, the following provisions below shall also apply and control:

- The total sign area for all signs on premises shall not exceed one (1) square foot of sign area for each linear foot of public right-of-way frontage
- No sign shall extend above or on the roofline of the building face
- Freestanding signs are prohibited between the street and principal building when there is no front yard setback for the principal building
- Overhanging signs, extending out from the building and overhanging a sidewalk, street, alley or other passageway, are prohibited unless a special permit is approved by the Director of Development and Permits or designee, per Section 66-121.1 of the City Code.
- Box signage, outdoor advertising, and flashing, variable, or electronic message signs are prohibited.

Historic Battlefield Character District

The Historic Battlefield Character District shall consist of primarily public lands located adjacent to the Albemarle and Chesapeake Canal and is intended to preserve existing historic character to maximize the area’s waterway and historical significance. Development shall comply with the underlying zoning district, unless otherwise specified in the ordinance, and shall be compatible and consistent with the new visitor center and museum in design, as determined by the Planning Director or designee. Colonial architecture with traditional colors shall be featured for any new construction of a principal structure. The Planning Director shall obtain the formal recommendation of the Chesapeake Historic Preservation Commission prior to the approval of any new construction within this District. All landscape buffers and vegetation shall consist of native vegetation to compliment and be consistent with historical arrangements, as set forth in the adopted Great Bridge Village Design Guidelines.

Great Bridge Business Character District

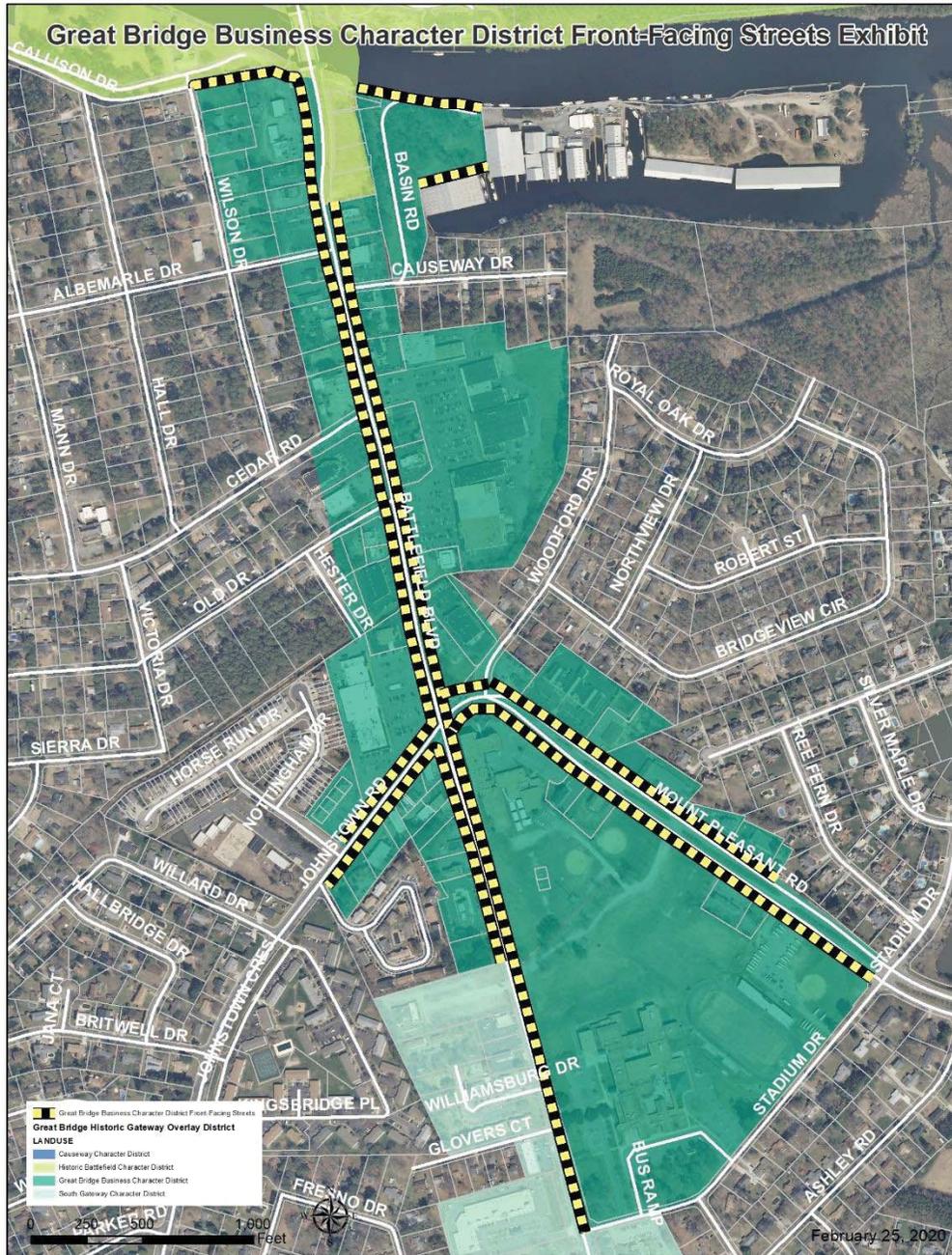
The intent of the Great Bridge Business Character District is to enhance the existing community scale village concept through capitalizing on the history of the area and its connections to the adjacent residential neighborhoods. Development should focus on aesthetically pleasing construction and provide useful community goods, services, and gathering places. Traffic should be managed and focused on creating a safe and functional pedestrian environment.

Development within the Great Bridge Business Character District will be conducted in a manner that addresses the following objectives:

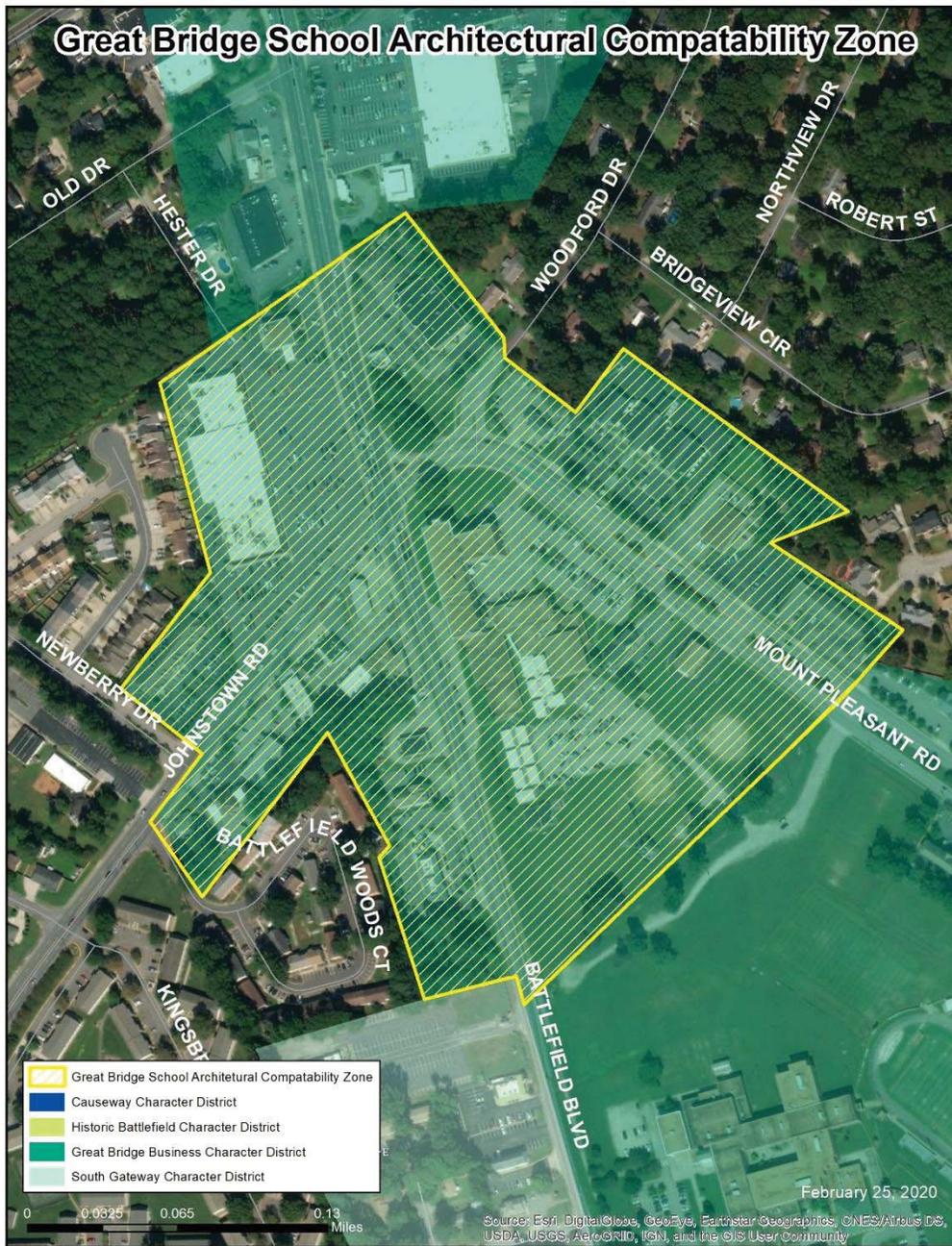
- Minimizing impacts to the adjoining residential neighborhoods by creating complementary land uses through developing/redeveloping commercial properties with suitable density and intensity;

- Adequately addressing the impacts of noise, smell, and glare on the adjoining residential properties;
- Sensitivity to environmental considerations through the implementation of appropriate buffers, building techniques, methods, and materials;
- Reduction in visual clutter through the development of a cohesive design aesthetic, sensible signage, and well considered landscape buffers;
- Minimizing impact to existing traffic challenges by reducing access points to Battlefield Boulevard, creation of shared access points, and implementation of the Great Bridge Village Access Management Plan;
- Establishment of safe and functional pedestrian and other non-automobile modes of transportation opportunities throughout the District, along Battlefield Boulevard, and creating connections to adjacent residential neighborhoods;
- Special consideration for development at the intersection of Battlefield Boulevard South/ Mount Pleasant Road/Johnstown Road to protect the existing mature trees and to develop in a manner that is compatible with the Great Bridge School;
- Maintain the use of the Great Bridge Shopping Center as a gathering place in Great Bridge, while encouraging façade upgrades and development of outparcels to reflect the GBVDG and development standards outlined in this section;
- Consolidate smaller parcels in the southwest corner of Battlefield Boulevard South and Johnstown Road to create opportunity for redevelopment with improved access and circulation;
- Consideration for the reconfiguration of Wilson Village Shopping Center to take better advantage of its road frontage and visibility; and
- All development will comply with the City’s development timing policies, including, but not limited to, the Planning and Land Use Policy (LOS Policy).

Development within the Great Bridge Business Character District will be focused toward Battlefield Boulevard South and to its intersection with Johnstown and Mount Pleasant Roads, as depicted on the below map entitled “Great Bridge Business Character District Front-Facing Streets Exhibit.”



New development will occur in a manner that creates a cohesive commercial village core that relates positively to the Historic Battlefield Character District to the north and to the outlying residential neighborhoods to the east and west. Special sensitivity shall be paid to the historically significant Great Bridge School and new development shall reflect a sensitivity to the scale, massing, and design elements of this building. To this end, as depicted on the map below entitled “Great Bridge School Architectural Compatibility Zone,” buildings and structures within this zone shall be no more than three (3) stories.



Every effort should be made to preserve the existing mature trees located at this intersection. The street cross sections included in the Great Bridge Village Design Guidelines shall be used in the development of individual site plans to establish a consistent development pattern along streets.

Development on all commercially zoned property within the Great Bridge Business Character District shall comply with the B-1 Neighborhood Business District, unless otherwise specified in the establishing ordinance. Development standards will not apply

to residentially zoned properties. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. The following specific development standards contained in the ordinance are highlighted:

- The maximum height of a building or structure shall not exceed two (2) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit by City Council. Buildings and structures in the Great Bridge Architectural Compatibility Zone as depicted on the map noted above of the same title, shall be no more than three (3) stories to encourage massing compatibility with the historically significant Great Bridge School. Residential uses on upper floors of buildings in the Zone shall require a conditional use permit per Section 12-807.D. of the ordinance. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guideline set forth in the adopted Great Bridge Village Design Guidelines, including massing.
- Development within the Character District shall be oriented toward Battlefield Boulevard South, Cedar Road, Johnstown Road, and Mount Pleasant Road, as depicted on the map noted above entitled “Great Bridge Character District Front-Facing Streets Exhibit.” Corner lots and buildings with multiple frontages shall provide primary consideration to pedestrian activity. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.
- The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Build-to lines shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks, and other amenities. The Planning Director or designee may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown as to the need for variation. Lots that are adjacent to waterways shall be considered to have two (2) front yards on both the fronting street and the waterway.
- Buffer areas shall be provided in accordance with the requirements of Section 19-600 et seq. of the Zoning Ordinance; provided that developments abutting residentially zoned or used properties shall install and enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set for the in the adopted Great Bridge Village Design Guidelines.
- A signage plan shall be submitted to the Planning Director during project review as set forth in the establishing ordinance. Signs in the Character District shall

comply with the adopted Great Bridge Village Design Guidelines and the sign standards for the B-1, Neighborhood Business District, as set forth in the Zoning Ordinance. Box signage, outdoor advertising, and flashing, variable, or electronic message signs are prohibited.

South Gateway Character District

The South Gateway Character District includes properties that front on Battlefield Boulevard South from the southern limits of the Great Bridge Business Character District to and through the Hanbury Road intersection, which is the upper limit of the Route 168 Transportation Corridor Overlay District (TCOD). This area consists of a mixture of zoning uses and it is the intent of the Great Bridge Historic Overlay District to harmonize these uses by applying the design standards set forth in the adopted TCOD. The purpose of the South Gateway Character District is to provide a continuous transition between the Great Bridge Historic Gateway Overlay District to the north and the Transportation Corridor Overlay (TCOD) District to the south.

Development in this district shall comply with the underlying zoning district and the adopted TCOD, unless otherwise specified in the ordinance. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. Applicable properties shall adhere to the design guidelines set forth in the adopted TCOD. New construction of a principal structure shall be subject to the following design standards:

- Development shall be Southern Colonial, French Colonial, or Coastal Colonial, with thematically appropriate architectural elements and materials such as brick and stone masonry, stucco, wood shingle, wood clapboard, board and batten, or alternative materials that achieve the same style. Porches, stoops, and decks with decorative columns, railing, and spindles or balusters are encouraged. Windows shall include visually prominent sills, muntins, shutters, and other framing details. Use gabled or hipped roofs, or a combination thereof with chimneys, dormers, and other accentuating design features that articulate rooflines.
- Use of prefabricated corrugated metal panels, smooth-faced concrete block; and smooth-faced tilt-up concrete panels on facades of primary buildings facing Battlefield Boulevard South is prohibited, and may only be permitted on side and rear facades if well screened from Battlefield Boulevard South. Facade color shall be low reflectance, subtle, neutral or earth tone colors. Brighter, trademark colors shall only be an accent. Rooftop mechanical units, flues, and vents shall be organized and screened.
- Outdoor furnishings and public amenities shall be consistent with the design themes set forth in the adopted Great Bridge Village Design Guidelines.

- Building setbacks and standards shall adhere to the underlying zoning district. All new construction of a principal structure along the corridor shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting Battlefield Boulevard South, as determined by the City’s Landscape Coordinator. All plant materials shall be native vegetation appropriate to the Southern Colonial theme, as set forth in the adopted Great Bridge Village Design Guidelines. Landscaped verges will create both visual appeal and protection for pedestrians and will be constructed in a manner to accommodate the ultimate right of way cross section for Battlefield Boulevard South.

6.3 Land Use Tables/ Recommendations

6.3.1 Description

- A. *In general.* The following tables set out all uses which are permitted or which may be allowed through the granting of a conditional use permit by City Council, in the Great Bridge Historic Gateway Overlay District. Where a use is not listed, it shall not be allowed as a permitted or conditional use in these districts; provided, however, that in those instances where a proposed use not listed below is determined by the Zoning Administrator to be of a similar nature or character as a listed use and such proposed use is also listed in the Standard Industrial Classification (SIC) Manual, published by the Federal Office of Management and Budget, such proposed use may be treated in the same manner as the listed use. Any decision by the Zoning Administrator regarding such a proposed use shall be made in writing.
- B. *Key of symbols used in table.* The symbols in the table below shall have the following meanings:

GBB	Great Bridge Business character district
HB	Historic Battlefield character district
CW	Causeway character district
P	Permitted use
C	Conditional use

- C. *Special conditions pertaining to specific uses.* The following conditions shall apply to specific uses, as indicated in the "condition" column in the uses schedule:
1. Limited to dog grooming, pedigree record services for pets and showing pets only.
 2. An assembly use located in, or that will be located in, a building containing more than one leasable space and required to obtain a conditional use permit shall

submit all the following in addition to the requirements of Article 17 of this ordinance:

- a. A certification from the landlord or the property owner that the on-site parking can accommodate the assembly use and the existing and future co-tenants either by meeting the criteria set out in Section 19-411 or by obtaining approval of a cooperative parking arrangement under Section 19-405. If required off-street parking can only be achieved with the approval of a cooperative parking arrangement, a request for cooperative parking shall be included.
- b. A noise attenuation plan including the landlord or property owner's certification that the building has sufficient noise attenuation qualities to make the assembly use compatible with neighboring units and properties. Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.
- c. A written acknowledgement from the landlord or property owner that required plans must be submitted with an architectural seal that demonstrates compliance with the Virginia Uniform Statewide Building Code, as amended.
- d. A written acknowledgment that a certificate of occupancy must be obtained before the assembly use occupies the space.

Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.

3. See Section 13-600 et seq. of this ordinance for supplemental regulations. Administrative review eligible projects shall only be permitted if the requirements of section 13-602 are satisfied.
4. See Section 13-1700 et seq. for supplemental regulations.
5. See Section 13-2200 et seq. for supplemental regulations.
6. See Section 13-900 et seq. for supplemental regulations.
7. Operated in accordance with chapter 14, article VI (Section 14-271 et seq.) of the City Code.
8. Auction rooms shall not be permitted in the Great Bridge Business Character District.
9. No more than 2,000 square feet of floor area shall be devoted to laundering and finishing processes and no coal-burning or smoke-producing equipment shall be used.
10. See Section 13-1504 et seq. for supplemental regulations.
11. Raising animals for experimental purposes is excluded.
12. See Section 13-500 et seq. for supplemental regulations.
13. No such establishment shall be used for private gain.
14. See Section 13-2100 et seq. for supplemental regulations.

15. A buffer yard "B," as defined in Section 19-610, shall be provided where the home furnishing shop is located in the Great Bridge Business Character district borders properties zoned Assembly or Office and Institutional.
16. Commercial establishments in which a principal or accessory use includes either or both (1) animal obedience training or other instruction and (2) animal grooming, including but not limited to shampooing, haircutting, flea treatment, or nail clipping shall comply with the following requirements set out below:
 - a. All instruction or grooming activities, whether on-site or off-site, shall occur inside an enclosed building or yard that is completely enclosed by a fence or similar barricade.
 - b. Where the site for such activity is located adjacent to property being used for residential purposes, no outdoor instruction activity shall be carried out earlier than 8:00 a.m. or later than 8:00 p.m.
17. Permitted only on municipal (Chesapeake) sites and as permitted in Section 13-602 of this Ordinance.
18. A conditional use permit shall be required for any eating or drinking place selling alcoholic beverages for on-premises consumption that meets one (1) of the following conditions:
 - a. The eating or drinking place is open for business after 12:00 a.m. and any portion of such property containing an eating and drinking place is located within two hundred (200) feet of any lot line of any property zoned or used for residential purposes. Where an eating and drinking place is located in a shopping center, the 200-foot distance shall be measured from the outer walls of the unit or space in which the eating and drinking place is located.
 - b. The eating or drinking place is adjacent to the following:
 - i. Property containing a church in a freestanding building;
 - ii. Property containing a public or private school in a freestanding building;
 - iii. Hospital in a freestanding building, or
 - iv. Daycare center in a freestanding building.
 - c. A conditional use permit shall not be required if one of the following exceptions applies:
 - i. The structure or unit in which the eating and drinking place is located is separated from property containing a church, or property containing a public or private school by a street at least sixty (60) feet in width which is owned and maintained by the city or the Commonwealth.
 - ii. For purposes of subsection b. only, the eating and drinking place is located in a shopping center. For purposes of this section, shopping center shall mean a group of retail or other commercial establishments that functions as a unified commercial development.

19. A conditional use permit shall be required if the parking facility is located adjacent to property zoned or used for residential purposes.
 20. Establishments selling alcoholic beverages shall comply with any and all rules and requirements of the Virginia Alcoholic Beverage Control Board.
 21. Goods may be produced for wholesale sale as an accessory use to retail activities, provided that all conditions set out in Section 14-102.C.3 are met.
 22. Only City-sponsored farmers markets shall be permitted in the Historic Battlefield Character District. See Section 13-1405 of this ordinance for supplemental regulations.
 23. See Section 13-2700 et seq. of this ordinance for supplemental regulations.
- D. *Mixed use dwellings in the Causeway Character District and Great Bridge School Architectural Compatibility Zone.* In addition to the permitted and conditional uses specified in Section 6.3.2 below, a conditional use permit shall be required for residential uses on the upper floor levels of buildings located in the Causeway Character District and the Great Bridge School Architectural Compatibility Zone.

6.3.2 Table of Permitted and Conditional Uses in the Great Bridge Historic Gateway Overlay District

SIC	Use	GBB	HB	CW	Condition*	Parking**
0742	Veterinary Services, Non-livestock Only, except Kennel, Boarding and Outdoor Activities	P		P		11
0752	Animal Services, Except Veterinary and Kennel	P		P	1	26
	Animal training and grooming	P		P	16	26
15	General Contractors, Offices Only, No Outside Storage	P		P		11
16	Heavy Construction Other Than Building Construction—Contractors, Offices Only, No Outside Storage	P		P		11
17	Construction—Special Trade Contractors, Offices Only, No Outside Storage	P		P		11
208	Beverages	P		P	20, 21	30
4121	Taxicab Operations			P		25
4173	Motor Vehicle Terminals			P		16
4215	Courier Services Except By Air	P		P		25
43	United States Postal Service	P		P		24
4493	Marinas		P	P		18
472	Transportation Arrangement	P		P		11
48	Communications, Offices	P		P		11
48	Communications Towers, administrative review-eligible projects	P		P	3	
	Amateur Radio Antenna	P		P		

SIC	Use	GBB	HB	CW	Condition*	Parking**
48	Communications, Towers	C			3	
48	Communications Towers on municipal property	P		P	3, 17	
4911	Accessory Solar Energy System	P			23	
	Unmanned Public Facility Buildings and Related Structures	P		P	4	26
494	Water Supply	P		P		26
521	Lumber and Other Building Materials	C				11
523	Paint, Glass and Wallpaper Stores	P		P		12
525	Hardware Store	P		P		11
526	Retail Nurseries, Lawn and Garden Supply Stores	C		C		11
53	General Merchandise Stores	P		P		11
54	Food Stores	P		P		11
	Grocery Stores	P		P		11
55	Boat Dealers			C		
5431	Farmers Markets	P	P	P	22	28
5460	Retail Bakery	P		P		12
553	Auto Supply Stores	P		P		11
554	Motor Vehicle Fuel Supply	C			7	11
56	Apparel and Accessory Stores	P		P		11
571	Home Furnishings Shops	P		P	15	14
572	Household Appliances	P		P		14

SIC	Use	GBB	HB	CW	Condition*	Parking**
5731	Radio and Television Stores	P		P		11
5734	Computer and Software Stores	P		P		12
5735	Record Stores	P		P		11
5736	Musical Instrument Stores	P		P		12
58	Eating and Drinking Places with Seating	P		P	18	9
58	Eating and Drinking Places Without Seating	P		P	18	10
591	Drugstores	P		P		11
592	Liquor Stores	P		P		10
593	Used Merchandise Store, Except Pawn Shops	P		P		11
5941	Sporting Goods Stores and Bicycle Shops	P		P		12
5942	Bookstores	P		P		12
5943	Stationery Stores	P		P		12
5944	Jewelry Stores	P		P		12
5945	Hobby, Toy and Game Shops	P		P		11
5946	Camera and Photographic Supply Stores	P		P		12
5947	Gift, Novelty and Souvenir Shops	P		P		12
5948	Luggage and Leather Goods Stores	P		P		11
5949	Sewing, Needlework and Piece Goods Stores	P		P		11
5961	Catalog and Mail Order Houses			C		24

SIC	Use	GBB	HB	CW	Condition*	Parking**
5962	Automatic Merchandising Machine Operators	P		P		11
5963	Direct Selling Establishments	P		P		11
5992	Florists	P		P		11
5993	Tobacco Stores and Stands	P		P		11
5994	News Dealers and Stands	P		P		11
5995	Optical Goods Stores	P		P		12
5999	Miscellaneous Retail Stores Not Elsewhere Classified	P		P	8	11
60-67	Finance, Insurance and Real Estate, Except Cemeteries	P		P		11
701	Hotels and Motels			P		6
704	Organization Hotels and Lodginghouses, on Membership Basis			P		6
7211	Power Laundries, Family and Commercial	C		C	9	11
7212	Garment Pressing	P		P	9	11
7215	Coin-Operated Laundries and Dry Cleaning	P		P		11
7219	Custom Dressmakers and Tailors	P		P		12
722	Photographic Studios, Portrait	P		P		12
723	Beauty Shops	P		P		11
724	Barbershops	P		P		11
725	Shoe Repair Shops and Shoeshine Parlors	P		P		11
7291	Tax Return Preparation Service	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7299	Miscellaneous Personal Services Not Elsewhere Classified; Except Tattoo Parlors	C		C		
7311	Advertising Agencies	P		P		11
7313	Radio, Television and Publishers' Advertising Representatives	P		P		11
7319	Advertising Not Elsewhere Classified, Offices Only	P		P		11
732	Consumer Credit Reporting Agencies, Mercantile Reporting Agencies and Adjustment and Collection Agencies	P		P		11
7331	Direct Mail Advertising Services	P		P		11
7334	Photocopying and Duplicating Services	P		P		12
7335	Commercial Photography			P		11
7336	Commercial Art and Graphic Design	P		P		11
7338	Secretarial and Court Reporting Services	P		P		11
7352	Medical Equipment Rental and Leasing	P		P		11
736	Personal Supply Services	P		P		0
737	Computer Programming, Data Processing and Other Related Services	P		P		11
7381	Detective, Guard and Armored Car Services, offices only	P		P		11
7382	Security Systems Services	P		P		11
7383	News Syndicates			P		11
7384	Photofinishing Laboratories	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7389	Business Services, Not Elsewhere Classified	P				11
7521	Parking Facilities	P	P	P	19	
7622	Radio and Television Repair Shops	P		P		12
7629	Electrical and Electronic Repair Shops, Not Elsewhere Classified	P		P		12
763	Watch, Clock and Jewelry Repair	P		P		12
764	Re-upholstery and Furniture Repair	P		P		12
7699	Instrument Repair	P		P		12
7699	Optical Goods Repair	P		P		12
7699	Leather Goods Repair	P		P		12
7699	Lock and Gunsmith Shops	P		P		11
7699	Musical Instrument Repair and Tuning	P		P		12
7699	Bicycle Repair Shop	P		P		12
7699	Antique Repair Shop	P		P		12
7699	Camera Repair Shop	P		P		12
7699	Mirror Repair	P		P		12
7699	Picture Framing	P		P		12
7699	Sharpening and Repairing Knives, Saws and Tools	P		P		12
7699	Taxidermist	C				12
7829	Services Allied to Motion Picture Distribution	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7832	Motion Picture Theaters, Except Drive-Ins	C		P		16
7841	Videotape Rental	P		P		11
791	Dance Studios, Schools and Halls, Instructional Only	P		P		11
7929	Bands, Orchestras, Actors and Other Entertainers and Entertainment Groups			C		11
793	Bowling Centers	C		C		21
7991	Physical Fitness Facilities	P		P		11
7993	Coin-Operated Amusement Devices	C		C		11
7999	Indoor Recreation Facilities Not Elsewhere Classified, Except Establishments Offering On-Site Computers for Sweepstakes, Games, Lotteries, or Contests under Virginia Code	C		P		11
7999	Outdoor Recreation Facilities Not Elsewhere Classified	C	P	C	10	17
	Martial Arts Instruction and Studios	P		P		11
801— 804	Offices and Clinics of Doctors and Dentists	P		P		11
806	Medical Care Facility			C		8
807	Medical and Dental Laboratories not considered Medical Care Facilities	P			11	11
809	Miscellaneous Health and Allied Services, Not Elsewhere Classified	P				11
81	Legal Services	P		P		11
821	Elementary and Secondary Schools	P		P	5	23

SIC	Use	GBB	HB	CW	Condition*	Parking**
823	Libraries	P	P	P	5	16
824	Vocational Schools, Except Auto Repair Schools, and Truck and Driving Schools	P		P		23
829	Schools and Educational Services, Not Elsewhere Classified	P		P		23
832	Individual and Family Social Services	P		P		11
833	Job Training and Vocational Rehabilitation Services	P		P		11
835	Child Day Care Services	C		C	12	22
839	Social Services, Not Elsewhere Classified	C		C		11
	Public Housing Support Services	P		P	14	13
841	Museums and Art Galleries	P	P	P		14
842	Arboreta and Botanical Gardens	P	P	P		17
861	Business Associations	P		P	13, 2	15
862	Professional Membership Organizations	P		P	13, 2	15
863	Labor Unions and Similar Labor Organizations	P		P	13, 2	15
864	Civic, Social, and Fraternal Associations	C		C	13, 2	15
865	Political Organizations	P		P	13, 2	15
866	Religious Organizations, Except Convents, Monasteries, and Schools	C		C	13, 2	15
	Churches	C		C	13, 2	27
869	Membership Organizations, Not Elsewhere Classified	P		C	2	15

SIC	Use	GBB	HB	CW	Condition*	Parking**
	Meeting and Banquet Halls	C	C	C		15
871	Engineering, Architectural and Surveying Services	P		P		11
872	Accounting, Auditing and Bookkeeping Services	P		P		11
874	Management and Public Relations Services, Offices Only, Not Including Correctional Facilities	P		P		11
89	Services Not Elsewhere Classified			P		11
913	Executive, Legislative and General Government, Except Finance	P		P	5	11
92	Justice, Public Order and Safety, Except Correctional Institutions	P		P	5	11
93	Public Finance, Taxation and Monetary Policy	P			5	11
94	Administration of Human Resource Programs	P			5	11
95	Administration of Environmental Quality and Housing Programs, Offices Only	P			5	11
96	Administration of Economic Programs, Offices Only	P			5	11
	Municipal Buildings and Structures	P	P	P	5	24

*See Section 6.3.1.C above

**See Section 19-411 of the Chesapeake Zoning Ordinance

7. Implementation

The Great Bridge Historic Gateway Overlay District shall be administered through the Planning Department of the City of Chesapeake. Amendments or supplemental information may be prepared by the Planning Department to further assist owners,

developers, builders, and designers with the review process. Prior to initiating any design, the Planning Department should be consulted to obtain any additional information or revisions that may be applicable to the design process.

Planning staff will work with developers to review design ideas before engineering drawings are developed. The developer should be encouraged to meet with Planning Department staff before any ideas have been hard-engineered on paper. It should be expected that generalized sketches of multiple alternatives will be evaluated in the field prior to any formal submissions. Pre-submittal conversations encourage open and early communication, creativity and innovation to allow the City to achieve its preservation, environmental, economic, and aesthetic goals.

While the adopted Great Bridge Village Design Guidelines is the primary tool for guiding the design of development in the overlay district, other regulations must be addressed during the design process. All applicable local, state, and national codes and regulations must be met. In the event of conflicting provisions of the above codes and regulations and any standard set by the Guidelines, the more restrictive provision should apply.

Submission requirements and review process are as follow:

1. Three (3) copies of the following shall be submitted to the Planning Department:
 - a. A letter indicating the location of the project, name of the project, and name and phone number of the contact person;
 - b. Preliminary Site plan prepared by a certified engineer;
 - c. Building plans, including floor plans and all exterior elevations;
 - d. Proposed signs
 - e. Color scheme, including all exterior building materials and description of all colors in layman's terms. Color samples may be required;
 - f. Landscape plan prepared by a certified landscape architect, an individual with a two or four year degree in ornamental horticulture, a member of the Virginia Society of Landscape Designers, or a certified Virginia Nurseryman.
 - g. Photographs of the site, building and/or surrounding properties.
 - h. Any other information that would assist the Committee in evaluating the application.
2. The deadline for submittal is Friday at 5:00 pm.

3. A design review committee consisting of staff from the Planning Department, Development and Permits – Zoning, and Development and Permits – Engineering will review the application for consistency with the overlay district requirements and design guidelines. The City will make every effort to review the plans within a two-week timeframe. If the plans are reviewed and approved prior to this time, the Planning Department will notify the contact person that the approved plans are available for pick up.
4. Architectural plan approval shall take place prior to the submittal of final construction plans to the Department of Development and Permits. If a preliminary plan is required, architectural approval during review of the preliminary plan is encouraged.
5. The approved copy of the plans shall be presented to the Department of Development and Permits-Permit Processing, with the building plans.

Appeals: A decision of the Planning Department may be appealed to the Planning Commission as a preliminary site plan application.

No building permit shall be issued for any principal structure subject to the establishing ordinance for the Great Bridge Historic Gateway Overlay District until the Planning Director or designee determines that the principal structure complies with the development standards, architecture, color and other building design standards applicable to the District as set forth in the ordinance. No building permit issued for such work shall be valid until the work has been approved by the Planning Director or designee as being fully compliant with the District requirements. Any person proposing work that, while not requiring a site plan, is subject to review and approval by the Planning Director shall provide to the Planning Director all information which the Director may require regarding the development standards, architecture, color and other characteristics of the buildings on the site.

The regular exterior maintenance of a building, structure, or sign within the District shall not require review and approval by the Planning Director. However, exterior painting shall conform to the color palette entitled “Benjamin Moore Historical Collection,” in order to promote the development of an integrated and compatible appearance among the buildings located in the District. Any exterior paint color that does not comply with the referenced color palette shall be subject to review and approval of the Planning Director or designee prior to painting. Bright, trademark colors that do not conform to the referenced color palette are permitted as an accent color only for exterior painting. The accent color must be low reflectance and may not cover more than twenty percent (20%) of the façade of the building as determined by the Planning Director or designee.

AN ORDINANCE AMENDING APPENDIX A OF THE CITY CODE, ENTITLED "ZONING," ARTICLE 7, SECTIONS 7-302 AND 7-402, AND ENACTING ARTICLE 12, SECTIONS 12-800 THROUGH 12-807 TO DELETE REDUNDANT SETBACK PROVISIONS FOR THE GREAT BRIDGE VILLAGE DISTRICT AND CREATE THE GREAT BRIDGE HISTORIC GATEWAY OVERLAY DISTRICT, WITH SPECIFIC PROVISIONS ESTABLISHING PERMITTED AND CONDITIONAL USES, SETBACKS, ARCHITECTURAL CONTROLS AND RELATED STANDARDS AND APPROVAL PROCEDURES FOR DEVELOPMENT WITHIN THE OVERLAY DISTRICT.

WHEREAS, the Council of the City of Chesapeake finds the public necessity, convenience, general welfare and good zoning practice so require,

BE IT ORDAINED by the Council of the City of Chesapeake, Virginia that Appendix A of the City Code, entitled "Zoning," Article 7, Sections 7-302 and 7-402 be amended and Article 12, Sections 12-800 through 12-807 be enacted as follows:

ARTICLE 7. – BUSINESS DISTRICTS

Section 7-302. - Development standards.

~~I. Special setback standards in Great Bridge Village district.~~

- ~~1. Purpose. On December 16, 2008, the City Council established the Great Bridge Village District by designation on the adopted Land Use Plan and adopted special design and use standards for each component district thereof, including the North Gateway district, Causeway district, Historic Battlefield district, Great Bridge Business district and South Gateway district. These special design and use standards are set out in appendix H of the adopted Comprehensive Plan, entitled "Great Bridge Village Design Guidelines," and include architectural, streetscape, landscape and land use recommendations for each component district. In order to encourage conformance with the Great Bridge Village design guidelines, the Directors of Planning and Public Works shall be authorized to grant exceptions to front yard setback requirements for properties zoned B-1, Neighborhood Business district, and~~

~~located in the Great Bridge Business district or Causeway district, subject to the procedures and conditions as set out below.~~

~~2. *Administrative setback reduction permitted by exception.* A front yard setback reduction may be granted through the issuance of an exception approved jointly by the director of planning and the director of public works, or their respective designees ("directors"), for properties zoned B-1 neighborhood business district and located in the Great Bridge business district or Causeway district of the Great Bridge Village district. Subject to meeting the criteria herein, front yard setbacks may be reduced up to zero, as measured from the ultimate right of way line. Ultimate right-of-way shall be determined by the director of public works or designee, using as guidance the descriptions and illustrations in appendix H of the adopted Comprehensive Plan, as amended.~~

~~3. *Minimum criteria.* In order to qualify for a front yard setback reduction under this subsection, the landowner or authorized representative ("developer") shall agree to comply with the Great Bridge Village design guidelines. The developer shall file an application for an exception with the department of planning, which application shall include 1) plans showing building and site layout, including proposed setbacks and lot coverage, 2) architectural, streetscape and landscape plans and 3) such other plans and documents as may be requested by the department of planning. The director of planning or designee shall determine whether the submittals comply with the Great Bridge Village design guidelines. If the plans are conforming, the director of public works or designee shall review same and determine whether the proposed reduction of the front yard setback will create or increase any potential traffic safety hazards, such as interference with vehicular visibility. In the event the directors concur that~~

~~the requested front yard setback reduction is warranted, the exception shall be granted. The directors may approve a lesser setback reduction than requested or may deny the request.~~

~~4.—*Denial and appeal.* In the event the request for setback reduction is denied, the director of planning shall provide the developer with a written denial setting forth a general description of the deficiencies in the application and plans. The developer shall have ten (10) days to file an appeal of the decision with the planning commission, which shall review same to determine whether the directors of planning and public works were erroneous in finding non-compliance with the Great Bridge Village design guidelines or in finding that the granting of the setback reduction would create or increase a potential traffic hazard.~~

Section 7-402. - Development standards.

~~F.—*Modifications in required yards and setbacks.*~~

~~2.—*Special setback standards in Great Bridge Village district.*~~

~~a.—*Purpose.* On December 16, 2008, the city council established the Great Bridge Village district by designation on the adopted Land Use Plan and adopted special design and use standards for each component district thereof, including the North Gateway district, Causeway district, Historic Battlefield district, Great Bridge business district and South Gateway district. These special design and use standards are set out in appendix H of the adopted Comprehensive Plan, entitled "Great Bridge Village Design Guidelines," and include architectural, streetscape, landscape and land use recommendations for each component district. In order to encourage conformance with the Great Bridge Village design guidelines, the directors of planning and public works shall be authorized to~~

~~grant exceptions to front yard setback requirements for properties zoned B-2 general business district and located in the Great Bridge business district or Causeway district, subject to the procedures and conditions as set out below.~~

~~b. *Administrative setback reduction permitted by exception.* A front yard setback reduction may be granted through the issuance of an exception approved jointly by the director of planning and the director of public works, or their respective designees ("directors"), for properties zoned B-2 general business district and located in the Great Bridge business district or Causeway district of the Great Bridge Village district. Subject to meeting the criteria herein, front yard setbacks may be reduced up to zero as measured from the ultimate right-of-way line. The ultimate right of way shall be determined by the director of public works or designee, using as guidance the descriptions and illustrations in Appendix H of the adopted Comprehensive Plan, as amended.~~

~~c. *Minimum criteria.* In order to qualify for a front yard setback reduction under this subsection, the landowner or authorized representative ("developer") shall agree to comply with the Great Bridge Village design guidelines. The developer shall file an application for an exception with the department of planning, which application shall include 1) plans showing building and site layout, including proposed setbacks and lot coverage, 2) architectural, streetscape and landscape plans and 3) such other plans and documents as may be requested by the department of planning. The director of planning or designee shall determine whether the submittals comply with the Great Bridge Village design guidelines. If the plans are conforming, the director of public works or designee shall review same and determine whether the proposed reduction of the front yard~~

~~setback will create or increase any potential traffic safety hazards, such as interference with vehicular visibility. In the event the directors concur that the requested front yard setback reduction is warranted, the exception shall be granted. The directors may approve a lesser setback reduction than requested or may deny the request.~~

~~d. *Denial and appeal.* In the event the request for setback reduction is denied, the director of planning shall provide the developer with a written denial setting forth a general description of the deficiencies in the application and plans. The developer shall have ten (10) days to file an appeal of the decision with the city planning commission, which shall review same to determine whether the directors of planning and public works were erroneous in finding non-compliance with the Great Bridge Village design guidelines or in finding that the granting of the setback reduction would create or increase a potential traffic hazard.~~

~~3. *Other setback reductions.* Unless otherwise expressly provided in this ordinance, all other applications for setback reductions shall be heard by the city board of zoning appeals as a variance request.~~

ARTICLE 12. – SPECIAL OVERLAY DISTRICTS

Section 12-800. – Great Bridge Historic Gateway Overlay District.

Section 12-801. - Creation of Great Bridge Historic Gateway Overlay District.

There is hereby created the "Great Bridge Historic Gateway Overlay District" of the City of Chesapeake. All properties located within this district shall be subject to the provisions set out below.

Section 12-802. - Findings of fact.

The historic gateway district of the Great Bridge area of the City of Chesapeake is a distinctive area that possesses a rich history, significant impact to commerce, and unique natural resources. The area's historical significance is evidenced by the Great Bridge Battle site (Battlefield) and the Albemarle and Chesapeake Canal Historic District, both of which are listed on the National Register of Historic Places and the Virginia Landmarks Registry. The Albemarle and Chesapeake Canal is the vital link in the nation's Intracoastal Waterway and provides inland commerce for boat traffic for the entire Eastern Seaboard of the United States. The area is also surrounded by significant tidal wetland areas, marshes, and other environmentally sensitive areas.

The Albemarle and Chesapeake Canal Historic District was listed on the Virginia Landmarks Registry in 2002 and the National Register of Historic Places in 2004. It is part of the Atlantic Intracoastal Waterway and carries both recreational and commercial boat traffic. The 9.1 mile long and 90 foot wide Virginia Cut of the Albemarle and Chesapeake Canal, which connects the Southern Branch of the Elizabeth River to the North Landing River, was constructed in 1859. The Albemarle and Chesapeake Canal was one of the first canals to be designed for steam-powered vessels. It was also the first canal in Virginia to be built entirely by steam dredging, rather than by hand. The Canal was under Union control during the Civil War but remained intact after the war.

The Great Bridge Battle site (Battlefield) was individually listed on the Virginia Landmarks Registry in 1971 and the National Register of Historic Places in 1973. The Great Bridge Battlefield is the site of the first military engagement in Virginia for the American Revolutionary War. The Battle of Great Bridge, from which the community of Great Bridge derives its name, was fought on December 9, 1775. The battle ended in victory for the

American Patriots and forced the retreat of Virginia Royal Governor, Lord Dunmore, and his British troops. A re-enactment of the Battle of Great Bridge is held every year in December near the site of the original battle. In the fall of 2019, the Great Bridge Battlefield and Waterways History Foundation opened a museum and visitor center, dedicated to preserving the history of the Battle of Great Bridge and the Albemarle and Chesapeake Canal, in the Great Bridge Battlefield and Waterways Historic Park.

The continued preservation and revival of the Great Bridge area depends upon revitalizing the community's historic relationship with the business community which anchors it and both preserving and restoring those characteristics of the business district which make it attractive and viable.

Section 12-803. - Purpose and intent.

The purpose and intent of creating the Great Bridge Historic Gateway Overlay District is to establish special zoning standards for the area which accomplish the following: (1) enhance those physical and architectural aspects of the area which make it attractive and consistent with the historic character of the community it serves; (2) limit uses in the area to those that are consistent with the commercial, historic and recreational importance of the area and the waterways in and around it; and (3) provide development flexibility that is economically stable and encourages the improvement and upgrading of the area.

Section 12-804. - Area of applicability.

The Great Bridge Historic Gateway Overlay District shall include those areas designated as the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District as identified on the map entitled, "Character Districts of the Great Bridge Historic Gateway Overlay District" and dated February 25, 2020 which is hereby incorporated into and made a part of this

ordinance. These character districts are modeled after, but do not exactly correspond to, the Causeway District, Historic Battlefield District, Great Bridge Business District, and South Gateway District contained in the adopted Great Bridge Village Design Guidelines.

Section 12-805. - Development standards.

A. *Applicability.* The development standards set out herein shall apply to new construction of a principal structure that occurs after the effective date of this ordinance and major exterior renovations to an existing principal structure within the areas designated as the Causeway Character District, Historic Battlefield Character District, Great Bridge Business Character District and the South Gateway Character District. For purposes of this ordinance, the term “major exterior renovations” shall include any reconstruction, rehabilitation, addition or other improvement, the cost of which equals or exceeds fifty percent (50%) of the building’s assessed value as determined by the most recent assessment by the City’s Real Estate Assessor. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.

B. *Incorporation of the Great Bridge Village Design Guidelines.* City Council approved the Great Bridge Village Design Guidelines on December 16, 2008. The Great Bridge Village Design Guidelines are herein incorporated by reference and shall apply to applicable properties as outlined in this ordinance, as determined by the Planning Director or designee. The Great Bridge Village Design Guidelines may only be amended by City Council in the same manner as amendments to the Zoning Ordinance.

C. *Causeway Character District*

- a. Intent. The purpose of this area is to foster the development and redevelopment of land uses associated with a mixed use community waterfront village that promotes and preserves the historical significance of the area.
- b. Development Standards. Development in this district shall comply with the MXD-U, Mixed Use Urban District, development standards, unless otherwise specified herein. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.
- i. Mixture of uses. The mixture of uses in this district shall include at least two (2) different classifications of land use (office, hotel, residential or retail). Residential development is not a required component of mixed use in the Causeway Character District. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807(D) of this ordinance.
- ii. Building design. The maximum height of a building or structure shall not exceed four (4) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit from City Council. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines.
- iii. Building orientation. Development within the Causeway Character District shall be oriented toward front-facing streets, with parking and other accessory land uses located inward and away from waterways and

natural features to maximize the advantages created by these features. The map entitled, “Causeway Character District Front-Facing Streets Exhibit” and dated February 25, 2020, depicts which streets within this district shall be considered front-facing streets and is hereby incorporated by reference. Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the Causeway Character District as opposed to providing direct access to individual land uses. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.

iv. *Principal building setback from streets (front yard).* The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Setbacks shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks and other pedestrian activities. The Planning Director, or designee, may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown. Lots that are adjacent to waterways shall be considered to have two front yards on both the fronting street and the waterway.

v. *Buffer yards.* Excepting properties that meet one of the exemptions listed below, buffer areas shall be provided in accordance with the requirements for B-2, General Business Districts, as set forth in Section 19-600 et seq. of the Zoning Ordinance. All plant materials shall be

native vegetation as set forth in the adopted Great Bridge Village Design Guidelines.

1. Exceptions:

- a. Developments that abut residentially zoned or used properties shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use.
- b. When the width of any setback is less than the required width of a buffer area under Section 19-600 et seq. of the Zoning Ordinance, the width of the buffer area may be reduced; provided that the amount and types of structures and/or plants required under Section 19-600 et seq. must be installed to the maximum extent possible within the reduced setback area. The arrangement of structures and plants shall be subject to the review and approval of the City's Landscape Coordinator prior to installation to assure compliance with this provision.
- c. When the front yard setback is zero (0) feet, no front yard buffering shall be required.
- d. Properties that abut, but do not front on Battlefield Boulevard North, as illustrated on the map entitled, "Causeway Character District Front-Facing Streets Exhibit" dated February 25, 2020, shall install a street

frontage buffer yard meeting or exceeding the requirements of Section 19-600 et seq. of this ordinance along Battlefield Boulevard North. All such street frontage buffer yards shall include a pedestrian feature to provide pedestrian connectivity throughout the corridor.

vi. Signage. A signage plan shall be submitted to the Planning Director during project review as set forth in Section 12-806 below. Signs in the Causeway Character District shall comply with the adopted Great Bridge Village Design Guidelines and the requirements for residential districts as specified in Section 14-700 et seq. of this ordinance; except that the provisions set out below shall also apply and control in the event of a conflict:

1. The total sign area for all signs on premises shall not exceed one (1) square foot of sign area for each linear foot of public right-of-way frontage.
2. No sign shall extend above or on the roofline of the building face.
3. Freestanding signs are prohibited between a street and principal building when there is no front yard setback for the principal building.
4. Overhanging signs, extending out from the building and overhanging a sidewalk, street, alley or other passageway, are prohibited unless a special permit is approved by the Director of

Development and Permits, or designee in accordance with Section 66-121.1 of the City Code.

5. Prohibited signage:

- a. Box signage;
- b. Billboards; and
- c. Flashing, variable or electronic message signs.

D. Great Bridge Business Character District

- a. Intent. This area is intended to enhance the existing community-scale village concept and capitalize on the history of the area and its connection to existing residential neighborhoods by establishing an overlay district for commercially zoned property.
- b. Development Standards. Development on all commercially zoned property in this district shall comply with the B-1, Neighborhood Business District, unless otherwise specified herein. These development standards shall not apply to residentially zoned properties. In the event of a conflict, the standards set out below shall supersede any contrary Zoning Ordinance provision.
 - i. Building design. The maximum height of a building or structure shall not exceed two (2) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit from City Council. Buildings and structures in the Great Bridge School Architectural Compatibility Zone, as depicted on the map entitled, “Great Bridge School Architectural Compatibility Zone” dated February 25, 2020, may be up to three (3) stories to encourage massing compatibility with the historically significant Great Bridge School.

New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines.

ii. Mixed use in the Great Bridge School Architectural Compatibility Zone. Residential development is not a required component of mixed use in the Great Bridge School Architectural Compatibility Zone. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807(D) of this ordinance.

iii. Building orientation. Development within the Great Bridge Business Character District shall be oriented toward Battlefield Boulevard South, Cedar Road, Johnstown Road, and Mount Pleasant Road as depicted on the “Great Bridge Business Character District Front-Facing Streets Exhibit” and dated February 25, 2020. Corner lots and buildings with multiple frontages shall provide primary consideration to pedestrian activity. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.

iv. Principal building setback from streets (front yard). The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Setbacks shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks and other pedestrian activities. The Planning Director, or designee, may provide written

approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown. Lots that are adjacent to waterways shall be considered to have two (2) front yards on both the fronting street and the waterway.

v. Buffer yards. Buffer areas shall be provided in accordance with the requirements for B-1, Neighborhood Business District, of Section 19-600 et seq. of the Zoning Ordinance; provided that developments abutting residentially zoned or used properties shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set forth in the adopted Great Bridge Village Design Guidelines.

vi. Signage. A signage plan shall be submitted to the Planning Director during project review as set forth in Section 12-806 below. Signs in the Great Bridge Business Character District shall comply with the adopted Great Bridge Village Design Guidelines and the sign standards for the B-1, Neighborhood Business, as set forth in this ordinance. The following signs shall be prohibited:

1. Box signage;
2. Billboards; and
3. Flashing, variable or electronic message signs.

E. Historic Battlefield Character District

- a. Intent. This area shall consist primarily of public lands located adjacent to the Albemarle and Chesapeake Canal and is intended to preserve existing historic character to maximize the area's waterway and historical significance.
- b. Development Standards. Development in this district shall comply with the underlying zoning district, unless otherwise specified herein.
- c. Building Design. All new construction of a principal structure shall feature Colonial architecture with traditional colors in a manner consistent and compatible with the Great Bridge Battlefield and Waterways Visitors Center, as determined by the Planning Director or designee. The Planning Director shall obtain the recommendation of the Chesapeake Historic Preservation Commission prior to the approval of any new construction within the Historic Battlefield Character District.
- d. Buffering. All landscape buffers and vegetation shall consist of native vegetation to complement and be consistent with historical arrangements, as set forth in the adopted Great Bridge Village Design Guidelines.

F. South Gateway Character District

- a. Intent. This area consists of a mixture of zoning uses and is intended to harmonize these uses by applying the design standards set forth in the adopted Transportation Corridor Overlay District to provide a continuous transition between the Great Bridge Historic Gateway Overlay District to the north and the Transportation Corridor Overlay (TCOD) District to the south.
- b. Development Standards. Development in this district shall comply with the underlying zoning district and the adopted Transportation Corridor Overlay District, unless otherwise specified herein. In the event of a conflict, the

standards set out below shall supersede any contrary Zoning Ordinance provision.

i. Building Design. Applicable properties shall adhere to the design guidelines set forth in the adopted Transportation Corridor Overlay District policy.

1. New construction of a principal structure shall comply with the following design standards, as determined by the Director of Planning or designee:

a. Development shall be Southern Colonial, French Colonial, or Coastal Colonial, with thematically appropriate architectural elements and materials such as brick and stone masonry, stucco, wood shingle, wood clapboard, board and batten, or alternative materials that achieve the same style. Porches, stoops, and decks with decorative columns, railing, and spindles or balusters are encouraged. Windows shall include visually prominent sills, muntins, shutters, and other framing details. Use gabled or hipped roofs, or a combination thereof with chimneys, dormers, and other accentuating design features that articulate rooflines.

b. Use of prefabricated corrugated metal panels, smooth-faced concrete block; and smooth-faced tilt-up concrete panels on facades of primary buildings facing Battlefield Boulevard South is prohibited, and may only be

permitted on side and rear facades if screened from Battlefield Boulevard South. Facade color shall be low reflectance, subtle, neutral or earth tone colors. Brighter, trademark colors shall only be used as an accent color on no more than twenty percent (20%) of the façade of the building. Rooftop mechanical units, flues, and vents shall be organized and screened.

c. Outdoor furnishings and public amenities shall be consistent with the design themes set forth in the adopted Great Bridge Village Design Guidelines.

ii. Buffer yards. All new construction of a principal structure shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting Battlefield Boulevard South, as determined by the City's Landscape Coordinator. All plant materials shall be native vegetation appropriate to the Southern Colonial theme, as set forth in the adopted Great Bridge Village Design Guidelines. Street buffer yards shall include a pedestrian feature to provide pedestrian connectivity throughout the corridor.

Section 12-806. - Review of projects within the overlay district; appeals.

A. In order to promote the development of an integrated and compatible appearance among the buildings located within the district, the exteriors of buildings located in the district may be altered only in accordance with the standards set out below.

B. Improvements requiring site plan review.

1. Where site plan review and approval is required under this Zoning Ordinance for a proposed site development within the district, the final site plan shall include all information required by the Planning Director, or designee, regarding the development standards, architecture, color and related characteristics of the buildings, structures and signs on the site, both as currently existing and as proposed, and their relationship to neighboring sites. The Planning Director, or designee, shall review and act upon the proposed architectural, color and related characteristics of the buildings, structures and signs on the site as part of the final site plan review process and shall use the standards and criteria set out in Section 12-805 above.
2. If aggrieved by the decision of the Planning Director, the applicant may appeal to the Planning Commission and City Council as provided for below.

C. *Improvements not requiring site plan review.*

1. No building permit shall be issued for any principal structure subject to this ordinance, as set forth in Section 12-805(A) of this ordinance, until the Planning Director, or designee, determines that the principal structure complies with the development standards, architecture, color and other building design standards set forth in this ordinance. Any building permit approved without the approval of the Planning Director or designee shall not be valid.
 - a. Any person proposing work that is subject to review and approval by the Planning Director under this subsection shall provide to the Planning Director all information which the Director may require regarding the development standards, architecture, color and other characteristics of the buildings on the site.

2. The regular exterior maintenance of a building, structure, or sign within the district shall not require review and approval by the Planning Director; provided that the following requirements are met:

a. Exterior painting shall conform to the color palette entitled, “Benjamin Moore Historical Collection.” Any exterior paint color that does not comply with the referenced color palette shall be subject to the review and approval of the Planning Director or designee prior to painting;

b. Bright, trademark colors that do not conform to the “Benjamin Moore Historical Collection” color palette are permitted as an accent color for exterior painting; provided that the paint is low reflectance. No more than twenty percent (20%) of the façade of the building shall be painted an accent color, as determined by the Planning Director or designee.

3. If aggrieved by the decision of the Planning Director, the applicant may appeal to the Planning Commission and City Council as provided for below.

D. Appeals. The determinations of the Planning Director may be appealed by the applicant to the Planning Commission, upon timely filing of appeal with the Director within thirty (30) days of the date of the Director's decision. The Planning Commission shall hear such appeal as a site plan review item. The property affected shall be posted in the manner prescribed by ordinance for site plan applications. If aggrieved by the decision of the Planning Commission, the applicant may appeal directly to the City Council; provided that such appeal is filed with the Planning Director within thirty (30) days of the decision of the Planning Commission. If aggrieved by the decision of the City Council, the applicant may appeal directly to the Chesapeake Circuit Court, as provided for in the

Code of Virginia, 1950, as amended. Only the applicant shall have the right of appeal from decisions of the Planning Commission and City Council.

Section 12-807. - Table of permitted and conditional uses.

A. In general. The following tables set out all uses which are permitted or which may be allowed through the granting of a conditional use permit by City Council, in the Great Bridge Historic Gateway Overlay District. Where a use is not listed, it shall not be allowed as a permitted or conditional use in these districts; provided, however, that in those instances where a proposed use not listed below is determined by the Zoning Administrator to be of a similar nature or character as a listed use and such proposed use is also listed in the Standard Industrial Classification (SIC) Manual, published by the Federal Office of Management and Budget, such proposed use may be treated in the same manner as the listed use. Any decision by the Zoning Administrator regarding such a proposed use shall be made in writing.

B. Key of symbols used in table. The symbols in the table below shall have the following meanings:

<u>GBB</u>	<u>Great Bridge Business character district</u>
<u>HB</u>	<u>Historic Battlefield character district</u>
<u>CW</u>	<u>Causeway character district</u>
<u>P</u>	<u>Permitted use</u>
<u>C</u>	<u>Conditional use</u>

C. *Special conditions pertaining to specific uses.* The following conditions shall apply to specific uses, as indicated in the "condition" column in the uses schedule:

1. Limited to dog grooming, pedigree record services for pets and showing pets only.
2. An assembly use located in, or that will be located in, a building containing more than one leasable space and required to obtain a conditional use permit shall submit all of the following in addition to the requirements of Article 17 of this Ordinance:

- a. A certification from the landlord or the property owner that the on-site parking can accommodate the assembly use and the existing and future co-tenants either by meeting the criteria set out in Section 19-411 or by obtaining approval of a cooperative parking arrangement under Section 19-405. If required off-street parking can only be achieved with the approval of a cooperative parking agreement, a request for cooperative parking shall be included.
- b. A noise attenuation plan including the landlord or property owner's certification that the building has sufficient noise attenuation qualities to make the assembly use compatible with neighboring units and properties. Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.
- c. A written acknowledgement from the landlord or property owner that required plans must be submitted with an architectural seal that demonstrates compliance with the Virginia Uniform Statewide Building Code, as amended.
- d. A written acknowledgment that a certificate of occupancy must be obtained before the assembly use occupies the space.

Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.

3. See Section 13-600 et seq. of this Ordinance for supplemental regulations. Administrative review eligible projects shall only be permitted if the requirements of Section 13-602 are satisfied.
4. See Section 13-1700 et seq. for supplemental regulations.
5. See Section 13-2200 et seq. for supplemental regulations.
6. See Section 13-900 et seq. for supplemental regulations.
7. Operated in accordance with Chapter 14, Article VI (section 14-271 et seq.) of the City Code.
8. Auction rooms shall not be permitted in the Great Bridge Business Character District.
9. No more than 2,000 square feet of floor area shall be devoted to laundering and finishing processes and no coal-burning or smoke-producing equipment shall be used.
10. See Section 13-1504 et seq. for supplemental regulations.
11. Raising animals for experimental purposes is excluded.
12. See Section 13-500 et seq. for supplemental regulations.
13. No such establishment shall be used for private gain.
14. See Section 13-2100 et seq. for supplemental regulations.
15. A buffer yard "B," as defined in Section 19-610, shall be provided where the home furnishing shop is located in the Great Bridge Business Character district borders properties zoned Assembly or Office and Institutional.
16. Commercial establishments in which a principal or accessory use includes either or both (1) animal obedience training or other instruction and (2) animal grooming,

including but not limited to shampooing, haircutting, flea treatment, or nail clipping shall comply with the following requirements set out below:

a. All instruction or grooming activities, whether on-site or off-site, shall occur inside an enclosed building or yard that is completely enclosed by a fence or similar barricade.

b. Where the site for such activity is located adjacent to property being used for residential purposes, no outdoor instruction activity shall be carried out earlier than 8:00 a.m. or later than 8:00 p.m.

17. Permitted only on municipal (Chesapeake) sites and as permitted in Section 13-602 of this Ordinance.

18. A conditional use permit shall be required for any eating or drinking place selling alcoholic beverages for on-premises consumption that meets one (1) of the following conditions:

a. The eating or drinking place is open for business after 12:00 a.m. and any portion of such property containing an eating and drinking place is located within two hundred (200) feet of any lot line of any property zoned or used for residential purposes. Where an eating and drinking place is located in a shopping center, the 200-foot distance shall be measured from the outer walls of the unit or space in which the eating and drinking place is located.

b. The eating or drinking place is adjacent to the following:

i. Property containing a church in a freestanding building;

ii. Property containing a public or private school in a freestanding building;

iii. Hospital in a freestanding building, or

iv. Daycare center in a freestanding building.

c. A conditional use permit shall not be required if one of the following exceptions applies:

i. The structure or unit in which the eating and drinking place is located is separated from property containing a church, or property containing a public or private school by a street at least sixty (60) feet in width which is owned and maintained by the City or the Commonwealth.

ii. For purposes of subsection b. only, the eating and drinking place is located in a shopping center. For purposes of this section, shopping center shall mean a group of retail or other commercial establishments that functions as a unified commercial development.

19. A conditional use permit shall be required if the parking facility is located adjacent to property zoned or used for residential purposes

20. Establishments selling alcoholic beverages shall comply with any and all rules and requirements of the Virginia Alcoholic Beverage Control Board.

21. Goods may be produced for wholesale sale as an accessory use to retail activities, provided that all conditions set out in Section 14-102.C.3 are met.

22. Only City-sponsored farmers markets shall be permitted in the Historic Battlefield Character District. See Section 13-1405 et seq. of this ordinance for supplemental regulations.

23. See Section 13-2700 et seq. of this ordinance for supplemental regulations.

D. *Mixed use dwellings in the Causeway Character District and the Great Bridge School Architectural Compatibility Zone.* In addition to the permitted and conditional uses specified in the Table of Permitted and Conditional Uses below, a conditional use permit shall be required for residential uses on the upper floor levels of buildings located in the

Causeway Character District and the Great Bridge School Architectural Compatibility
Zone.

E. Table of permitted and conditional uses in the Great Bridge Historic Gateway Overlay District

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>0742</u>	<u>Veterinary Services, Non-livestock Only, except Kennel, Boarding and Outdoor Activities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>0752</u>	<u>Animal Services, Except Veterinary and Kennel</u>	<u>P</u>		<u>P</u>	<u>1</u>	<u>26</u>
	<u>Animal training and grooming</u>	<u>P</u>		<u>P</u>	<u>16</u>	<u>26</u>
<u>15</u>	<u>General Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>16</u>	<u>Heavy Construction Other Than Building Construction—Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>17</u>	<u>Construction—Special Trade Contractors, Offices Only, No Outside Storage</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>208</u>	<u>Beverages</u>	<u>P</u>		<u>P</u>	<u>20, 21</u>	<u>30</u>
<u>4121</u>	<u>Taxicab Operations</u>			<u>P</u>		<u>25</u>
<u>4173</u>	<u>Motor Vehicle Terminals</u>			<u>P</u>		<u>16</u>
<u>4215</u>	<u>Courier Services Except By Air</u>	<u>P</u>		<u>P</u>		<u>25</u>
<u>43</u>	<u>United States Postal Service</u>	<u>P</u>		<u>P</u>		<u>24</u>
<u>4493</u>	<u>Marinas</u>		<u>P</u>	<u>P</u>		<u>18</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>472</u>	<u>Transportation Arrangement</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>48</u>	<u>Communications, Offices</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>48</u>	<u>Communications Towers, administrative review-eligible projects</u>	<u>P</u>		<u>P</u>	<u>3</u>	
	<u>Amateur Radio Antenna</u>	<u>P</u>		<u>P</u>		
<u>48</u>	<u>Communications, Towers</u>	<u>C</u>			<u>3</u>	
<u>48</u>	<u>Communications Towers on municipal property</u>	<u>P</u>		<u>P</u>	<u>3, 17</u>	
<u>4911</u>	<u>Accessory Solar Energy System</u>	<u>P</u>			<u>23</u>	
	<u>Unmanned Public Facility Buildings and Related Structures</u>	<u>P</u>		<u>P</u>	<u>4</u>	<u>26</u>
<u>494</u>	<u>Water Supply</u>	<u>P</u>		<u>P</u>		<u>26</u>
<u>521</u>	<u>Lumber and Other Building Materials</u>	<u>C</u>				<u>11</u>
<u>523</u>	<u>Paint, Glass and Wallpaper Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>525</u>	<u>Hardware Store</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>526</u>	<u>Retail Nurseries, Lawn and Garden Supply Stores</u>	<u>C</u>		<u>C</u>		<u>11</u>
<u>53</u>	<u>General Merchandise Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>54</u>	<u>Food Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
	<u>Grocery Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>55</u>	<u>Boat Dealers</u>			<u>C</u>		
<u>5431</u>	<u>Farmers Markets</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>22</u>	<u>28</u>
<u>5460</u>	<u>Retail Bakery</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>553</u>	<u>Auto Supply Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>554</u>	<u>Motor Vehicle Fuel Supply</u>	<u>C</u>			<u>7</u>	<u>11</u>
<u>56</u>	<u>Apparel and Accessory Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>571</u>	<u>Home Furnishings Shops</u>	<u>P</u>		<u>P</u>	<u>15</u>	<u>14</u>
<u>572</u>	<u>Household Appliances</u>	<u>P</u>		<u>P</u>		<u>14</u>
<u>5731</u>	<u>Radio and Television Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5734</u>	<u>Computer and Software Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5735</u>	<u>Record Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5736</u>	<u>Musical Instrument Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>58</u>	<u>Eating and Drinking Places with Seating</u>	<u>P</u>		<u>P</u>	<u>18</u>	<u>9</u>
<u>58</u>	<u>Eating and Drinking Places Without Seating</u>	<u>P</u>		<u>P</u>	<u>18</u>	<u>10</u>
<u>591</u>	<u>Drugstores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>592</u>	<u>Liquor Stores</u>	<u>P</u>		<u>P</u>		<u>10</u>
<u>593</u>	<u>Used Merchandise Store, Except Pawn Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5941</u>	<u>Sporting Goods Stores and Bicycle</u>	<u>P</u>		<u>P</u>		<u>12</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
	<u>Shops</u>					
<u>5942</u>	<u>Bookstores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5943</u>	<u>Stationery Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5944</u>	<u>Jewelry Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5945</u>	<u>Hobby, Toy and Game Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5946</u>	<u>Camera and Photographic Supply Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5947</u>	<u>Gift, Novelty and Souvenir Shops</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5948</u>	<u>Luggage and Leather Goods Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5949</u>	<u>Sewing, Needlework and Piece Goods Stores</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5961</u>	<u>Catalog and Mail Order Houses</u>			<u>C</u>		<u>24</u>
<u>5962</u>	<u>Automatic Merchandising Machine Operators</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5963</u>	<u>Direct Selling Establishments</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5992</u>	<u>Florists</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5993</u>	<u>Tobacco Stores and Stands</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5994</u>	<u>News Dealers and Stands</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>5995</u>	<u>Optical Goods Stores</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>5999</u>	<u>Miscellaneous Retail Stores Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>	<u>8</u>	<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>60-67</u>	<u>Finance, Insurance and Real Estate, Except Cemeteries</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>701</u>	<u>Hotels and Motels</u>			<u>P</u>		<u>6</u>
<u>704</u>	<u>Organization Hotels and Lodging houses, on Membership Basis</u>			<u>P</u>		<u>6</u>
<u>7211</u>	<u>Power Laundries, Family and Commercial</u>	<u>C</u>		<u>C</u>	<u>9</u>	<u>11</u>
<u>7212</u>	<u>Garment Pressing</u>	<u>P</u>		<u>P</u>	<u>9</u>	<u>11</u>
<u>7215</u>	<u>Coin-Operated Laundries and Dry Cleaning</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7219</u>	<u>Custom Dressmakers and Tailors</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>722</u>	<u>Photographic Studios, Portrait</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>723</u>	<u>Beauty Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>724</u>	<u>Barbershops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>725</u>	<u>Shoe Repair Shops and Shoeshine Parlors</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7291</u>	<u>Tax Return Preparation Service</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7299</u>	<u>Miscellaneous Personal Services Not Elsewhere Classified; Except Tattoo Parlors</u>	<u>C</u>		<u>C</u>		
<u>7311</u>	<u>Advertising Agencies</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7313</u>	<u>Radio, Television and Publishers' Advertising Representatives</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7319</u>	<u>Advertising Not Elsewhere Classified, Offices Only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>732</u>	<u>Consumer Credit Reporting Agencies, Mercantile Reporting Agencies and Adjustment and Collection Agencies</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7331</u>	<u>Direct Mail Advertising Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7334</u>	<u>Photocopying and Duplicating Services</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7335</u>	<u>Commercial Photography</u>			<u>P</u>		<u>11</u>
<u>7336</u>	<u>Commercial Art and Graphic Design</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7338</u>	<u>Secretarial and Court Reporting Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7352</u>	<u>Medical Equipment Rental and Leasing</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>736</u>	<u>Personal Supply Services</u>	<u>P</u>		<u>P</u>		<u>0</u>
<u>737</u>	<u>Computer Programming, Data Processing and Other Related Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7381</u>	<u>Detective, Guard and Armored Car Services, offices only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7382</u>	<u>Security Systems Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7383</u>	<u>News Syndicates</u>			<u>P</u>		<u>11</u>
<u>7384</u>	<u>Photofinishing Laboratories</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7389</u>	<u>Business Services, Not Elsewhere Classified</u>	<u>P</u>				<u>11</u>
<u>7521</u>	<u>Parking Facilities</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>19</u>	
<u>7622</u>	<u>Radio and Television Repair Shops</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7629</u>	<u>Electrical and Electronic Repair Shops, Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>763</u>	<u>Watch, Clock and Jewelry Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>764</u>	<u>Re-upholstery and Furniture Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Instrument Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Optical Goods Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Leather Goods Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Lock and Gunsmith Shops</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7699</u>	<u>Musical Instrument Repair and Tuning</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Bicycle Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Antique Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Camera Repair Shop</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Mirror Repair</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Picture Framing</u>	<u>P</u>		<u>P</u>		<u>12</u>
<u>7699</u>	<u>Sharpening and Repairing Knives, Saws and Tools</u>	<u>P</u>		<u>P</u>		<u>12</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>7699</u>	<u>Taxidermist</u>	<u>C</u>				<u>12</u>
<u>7829</u>	<u>Services Allied to Motion Picture Distribution</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7832</u>	<u>Motion Picture Theaters, Except Drive-Ins</u>	<u>C</u>		<u>P</u>		<u>16</u>
<u>7841</u>	<u>Videotape Rental</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>791</u>	<u>Dance Studios, Schools and Halls, Instructional Only</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7929</u>	<u>Bands, Orchestras, Actors and Other Entertainers and Entertainment Groups</u>			<u>C</u>		<u>11</u>
<u>793</u>	<u>Bowling Centers</u>	<u>C</u>		<u>C</u>		<u>21</u>
<u>7991</u>	<u>Physical Fitness Facilities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>7993</u>	<u>Coin-Operated Amusement Devices</u>	<u>C</u>		<u>C</u>		<u>11</u>
<u>7999</u>	<u>Indoor Recreation Facilities Not Elsewhere Classified, Except Establishments Offering On-Site Computers for Sweepstakes, Games, Lotteries, or Contests under Virginia Code</u>	<u>C</u>		<u>P</u>		<u>11</u>
<u>7999</u>	<u>Outdoor Recreation Facilities Not Elsewhere Classified</u>	<u>C</u>	<u>P</u>	<u>C</u>	<u>10</u>	<u>17</u>
	<u>Martial Arts Instruction and Studios</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>801—</u>	<u>Offices and Clinics of Doctors and</u>	<u>P</u>		<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>804</u>	<u>Dentists</u>					
<u>806</u>	<u>Medical Care Facility</u>			<u>C</u>		<u>8</u>
<u>807</u>	<u>Medical and Dental Laboratories not considered Medical Care Facilities</u>	<u>P</u>			<u>11</u>	<u>11</u>
<u>809</u>	<u>Miscellaneous Health and Allied Services, Not Elsewhere Classified</u>	<u>P</u>				<u>11</u>
<u>81</u>	<u>Legal Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>821</u>	<u>Elementary and Secondary Schools</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>23</u>
<u>823</u>	<u>Libraries</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>5</u>	<u>16</u>
<u>824</u>	<u>Vocational Schools, Except Auto Repair Schools, and Truck and Driving Schools</u>	<u>P</u>		<u>P</u>		<u>23</u>
<u>829</u>	<u>Schools and Educational Services, Not Elsewhere Classified</u>	<u>P</u>		<u>P</u>		<u>23</u>
<u>832</u>	<u>Individual and Family Social Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>833</u>	<u>Job Training and Vocational Rehabilitation Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>835</u>	<u>Child Day Care Services</u>	<u>C</u>		<u>C</u>	<u>12</u>	<u>22</u>
<u>839</u>	<u>Social Services, Not Elsewhere Classified</u>	<u>C</u>		<u>C</u>		<u>11</u>
	<u>Public Housing Support Services</u>	<u>P</u>		<u>P</u>	<u>14</u>	<u>13</u>
<u>841</u>	<u>Museums and Art Galleries</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>14</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>842</u>	<u>Arboreta and Botanical Gardens</u>	<u>P</u>	<u>P</u>	<u>P</u>		<u>17</u>
<u>861</u>	<u>Business Associations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>862</u>	<u>Professional Membership Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>863</u>	<u>Labor Unions and Similar Labor Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>864</u>	<u>Civic, Social, and Fraternal Associations</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>15</u>
<u>865</u>	<u>Political Organizations</u>	<u>P</u>		<u>P</u>	<u>13, 2</u>	<u>15</u>
<u>866</u>	<u>Religious Organizations, Except Convents, Monasteries, and Schools</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>15</u>
	<u>Churches</u>	<u>C</u>		<u>C</u>	<u>13, 2</u>	<u>27</u>
<u>869</u>	<u>Membership Organizations, Not Elsewhere Classified</u>	<u>P</u>		<u>C</u>	<u>2</u>	<u>15</u>
	<u>Meeting and Banquet Halls</u>	<u>C</u>	<u>C</u>	<u>C</u>		<u>15</u>
<u>871</u>	<u>Engineering, Architectural and Surveying Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>872</u>	<u>Accounting, Auditing and Bookkeeping Services</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>874</u>	<u>Management and Public Relations Services, Offices Only, Not Including Correctional Facilities</u>	<u>P</u>		<u>P</u>		<u>11</u>
<u>89</u>	<u>Services Not Elsewhere Classified</u>			<u>P</u>		<u>11</u>

<u>SIC</u>	<u>Use</u>	<u>GBB</u>	<u>HB</u>	<u>CW</u>	<u>Condition*</u>	<u>Parking**</u>
<u>913</u>	<u>Executive, Legislative and General Government, Except Finance</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>11</u>
<u>92</u>	<u>Justice, Public Order and Safety, Except Correctional Institutions</u>	<u>P</u>		<u>P</u>	<u>5</u>	<u>11</u>
<u>93</u>	<u>Public Finance, Taxation and Monetary Policy</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>94</u>	<u>Administration of Human Resource Programs</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>95</u>	<u>Administration of Environmental Quality and Housing Programs, Offices Only</u>	<u>P</u>			<u>5</u>	<u>11</u>
<u>96</u>	<u>Administration of Economic Programs, Offices Only</u>	<u>P</u>			<u>5</u>	<u>11</u>
	<u>Municipal Buildings and Structures</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>5</u>	<u>24</u>

ADOPTED by the Council of the City of Chesapeake, Virginia this _____ day of _____, 2020.

APPROVED:

Mayor

ATTEST:

Clerk of the Council

APPROVED AS TO FORM:

Deputy City Attorney

Great Bridge Historic Gateway Overlay District

PLN-TXT-2019-011



Report Date: April 28, 2020

City Council Approval: TBD

Great Bridge Historic Gateway Overlay District

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1. Statement of Need

The intention for the proposed Great Bridge Historic Gateway Overlay District, particularly as it relates to the Causeway and Great Bridge Business Character Districts, is not to overdevelop these districts, but rather to help ensure that future development and redevelopment activities are compatible with the historic and cultural amenities contained within the Historic Battlefield Character District.

2. Background

2.1 History

The Great Bridge Historic Gateway Overlay District includes several sites listed on the National Register of Historic Places and the Virginia Landmarks Registry. The two sites, the Albemarle and Chesapeake Canal Historic District and the site of the Great Bridge Battle (Battlefield), are located in the Historic Battlefield Character District.

The Albemarle and Chesapeake Canal Historic District was listed on the Virginia Landmarks Registry in 2002 and the National Register of Historic Places in 2004. It is part of the Atlantic Intracoastal Waterway and carries both recreational and commercial boat traffic. The 9.1 mile long and 90 foot wide Virginia Cut of the Albemarle and Chesapeake Canal, which connects the Southern Branch of the Elizabeth River to the North Landing River, was constructed in 1859. The Albemarle and Chesapeake Canal was one of the first canals to be designed for steam-powered vessels. It was also the first canal in Virginia to be built entirely by steam dredging, rather than by hand. The Canal was under Union control during the Civil War but remained intact after the war.

There are eleven (11) contributing resources to the Albemarle and Chesapeake Historic District and eight (8) non-contributing resources. Eight (8) of the contributing structures, built between 1917 and 1948, are on the Army Corps of Engineers Reservation; these structures include auto storage, vehicle repair shops, a machine shop, warehouses, shops, sheds, and an office. The North Landing Bridge also contributes to the Albemarle and Chesapeake District; however, it is located on the Atlantic Intracoastal Waterway between the border of Chesapeake and Virginia Beach, outside the boundaries of the Great Bridge Historic Gateway Overlay District. The final two (2) contributing resources to the Albemarle and Chesapeake Canal Historic District include the Great Bridge Lock and the Battlefield site.

The Great Bridge Lock is located at the western end of the Virginia Cut of the Albemarle and Chesapeake Canal. Its primary function is to prevent saltwater intrusion from the Southern Branch of the Elizabeth River into the freshwater of the North Landing River and to control tidal currents from these two rivers. The first Great Bridge Lock was built by the Albemarle and Chesapeake Canal Company in 1859. The original Great Bridge Lock survived until 1917, when the Canal was widened. There was no lock for fifteen years until the new Great Bridge Lock was completed on June 16, 1932.

The Great Bridge Battle site (Battlefield) was individually listed on the Virginia Landmarks Registry in 1971 and the National Register of Historic Places in 1973. It is

also a contributing resource to the Albemarle and Chesapeake Canal Historic District. The Great Bridge Battlefield is the site of the first military engagement in Virginia for the American Revolutionary War. The Battle of Great Bridge, from which the community of Great Bridge derives its name, was fought on December 9, 1775. The battle ended in victory for the American Patriots and forced the retreat of Virginia Royal Governor, Lord Dunmore, and his British troops. A re-enactment of the Battle of Great Bridge is held every year in December near the site of the original battle. In the fall of 2019, the City and Great Bridge Battlefield and Waterways History Foundation completed the construction of a museum and visitor center (scheduled to open to the public in mid-2020), dedicated to preserving the history of the Battle of Great Bridge and the waterways of Chesapeake, including the Albemarle and Chesapeake Canal, in the Great Bridge Battlefield and Waterways Historic Park (hereinafter referred to as Battlefield Park).

2.2 Past Studies/Planning Efforts

The Great Bridge Village Design Guidelines were adopted by City Council in December 2008. In part, a catalyst for the study was the replacement of the Great Bridge Bridge in 2001, which fostered the realization by the City of the numerous development and redevelopment opportunities the Great Bridge Village had to offer. With these opportunities in mind, the City arranged for the preparation of a Master Plan of Great Bridge Village in 2005, with the following objectives: provide protection and recognition of the Great Bridge Battlefield of 1775; incorporate plans for a visitor center; provide compatible economic development opportunities; protect and enhance the area's natural resources; capitalize on the waterways; identify strengths, weaknesses, opportunities and threat to the Great Bridge Village neighborhoods; and establish design and land use guidelines. To this end, the Great Bridge Battlefield & Waterways History Foundation prepared and submitted to the City a report entitled "Architectural Review Study for Great Bridge Village" in September 2007. Additionally, a further in-depth SWOT analysis of the Causeway District, along with a compilation of stakeholder input for the Great Bridge Village Plan, was performed by a Planning intern in 2009.

Strengths, Weaknesses, Opportunities, and Threats (SWOT Analysis)

Strengths:

- Rich history
- Water accessibility
- Perception of safe community
- Diversity of land use
- Distinct character

Weaknesses:

- Lack of diverse destination amenities, especially for transient boaters. e.g. lodging
- Lack of consistent, identifiable architectural themes in current buildings
- Lack of wayfinding and landmark signage
- Poor multi-modal transportation options, especially for pedestrians

Opportunities:

- Create a unifying architectural style
- Strengthen the core Great Bridge Village as a destination place
- Develop public-private partnerships for development and redevelopment
- Create pedestrian interaction with the waterfront

Threats:

- Lack of enforceable design standards
- Inconsistent and/or incompatible architecture and land uses
- Lack of clear identify or direction for Causeway and Great Bridge Business Districts

Given the commercial, historic, and recreational importance of the waterways in and around the Great Bridge Village, various studies were conducted for evaluation and remediation of derelict vessels, as follows:

- “Elizabeth River Derelict Structure Inventory,” Virginia Marine Resources Commission, January 1997
- “An Historical and Architectural Assessment of the Remains of Derelict Vessels Abandoned in the Southern Branch of the Elizabeth River in the City of Chesapeake, Virginia,” Tidewater Atlantic Research, Inc., October 1999
- “An Historical and Archaeological Assessment of the Remains of Derelict Vessel SB-77 Abandoned in the Southern Branch of the Elizabeth River in the City of Chesapeake, Virginia,” Tidewater Atlantic Research, Inc., March 2000
- “Recordation of Three Historic Watercraft Southern Branch of the Elizabeth River Chesapeake, Virginia,” Pan-American Consultants, Inc., April 2005

- “City of Chesapeake, Virginia Underwater Salvage and Pollution Control Plan of Derelict Vessels from the South Branch of the Elizabeth River,” RM Underwater technologies, Inc., circa 2004

2.3 Development Activity

The Great Bridge Village, and in particular the Historic Battlefield District, has long been a center of trade, focused on the junction of key roadways and waterways. The area has evolved slowly, from a rural colonial village to a suburban, residential development pattern with supporting local business and retail. Despite its rich history, the Great Bridge Village has developed in an inconsistent pattern through the years, resulting in commercial areas that are disconnected from the waterways and surrounding neighborhoods.

Outside the recent completion of the Great Bridge Battlefield and Waterways Visitor Center (hereinafter referred to as the new museum and visitor center), there has not been any significant new development in the core study area in decades. There still exist many commercial and retail uses in the core study area, although they have declined in number and variety. Thrift stores, pawn shops, and other lesser commercial activities have begun to proliferate as commercial vacancies become increasingly difficult to fill. However, interest in restaurants continues to be strong, particularly those with waterfront dining.

3. Existing Conditions Description

3.1 Description of Study Area

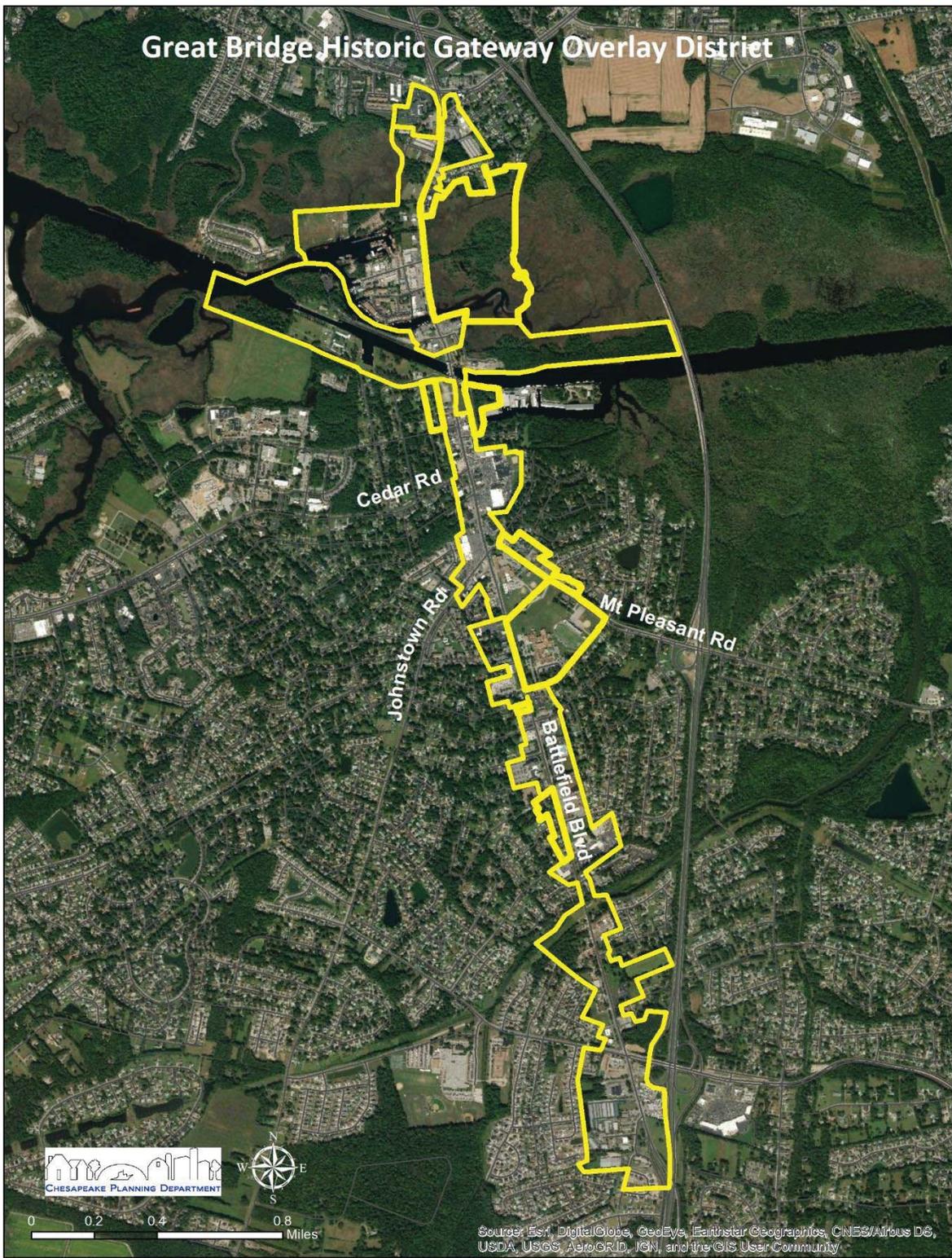
The Great Bridge Historic Gateway Overlay District is comprised of four character districts: the Causeway, the Historic Battlefield, the Great Bridge Business, and the South Gateway Character Districts (see section 6.2). There are 575 parcels totaling 684 total acres within the Causeway Character District (134 ac), Historic Battlefield Character District (212 ac), Great Bridge Business Character District (133 ac), and South Gateway Character District (205 ac). Multiple properties are owned by a single owner, including the City of Chesapeake with 14 properties. Land use patterns in the core part of the Overlay District have historically been influenced by the natural features such as tidal creeks and marshes, as well as man-made features such as the Intracoastal Waterway, Albemarle and Chesapeake Canal, Great Bridge Locks, and Great Bridge Bridge.

As illustrated in the map below, the approximate boundaries of the Great Bridge Historic Gateway Overlay District begin just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road and include primarily non-residential properties fronting on the east and west sides of Battlefield Boulevard North. Moving south, properties fronting on Tilden Avenue, Billy Flora Way, Wayne Avenue, and Watson Road are included, as is a large marshy/tidal area on the east side primarily owned by the City. Additionally, the Overlay District includes the public properties to the

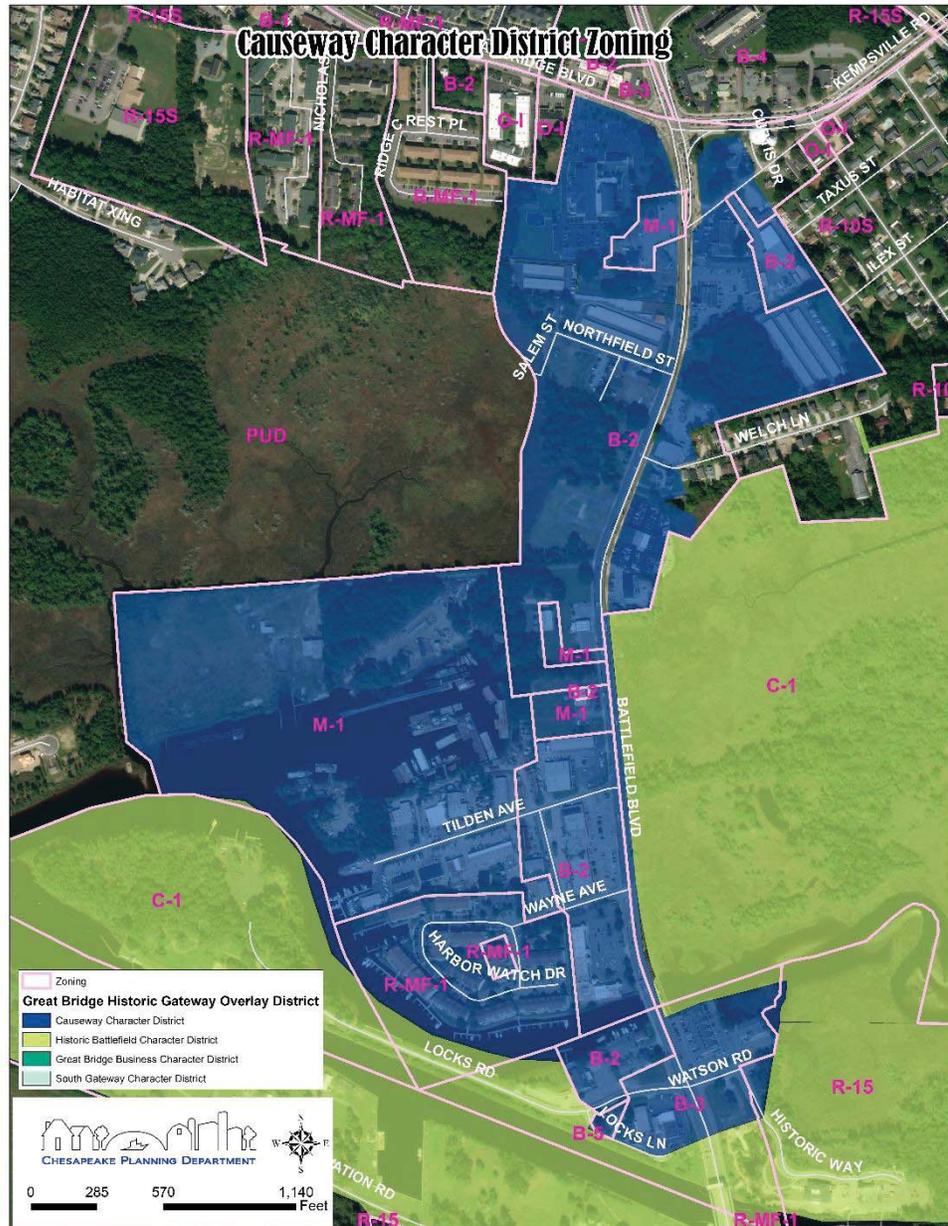
east and west of Battlefield Boulevard, along the Albemarle and Chesapeake Canal, near the Great Bridge Bridge. These properties include the Great Bridge Lock Park, properties north of Reservation Road, Battlefield Park South, and properties in Battlefield Park.

The Overlay District continues south across the Great Bridge Bridge to include properties fronting on Battlefield Boulevard South, as well as properties fronting on the east side of Wilson Drive between Albemarle Drive and Callison Drive. Undeveloped property along the east side of Basin Road is also included. Continuing south, properties fronting on the east and west sides of Battlefield Boulevard are included, as are properties near the intersection of Battlefield Boulevard South with Johnstown Road and Mount Pleasant Road. The Chesapeake Public Schools Educational Services Center/SECEP, historic Great Bridge School, and Great Bridge Middle School properties are included. Properties fronting on the north and south sides of Mount Pleasant Road to a point near the entrance to the football stadium are also included. Continuing south toward Battlefield Boulevard's intersection with Hanbury Road, fronting properties on the east and west sides are generally included. Finally, the Overlay District terminates just south and west of the intersection of Battlefield Boulevard and the Chesapeake Expressway (see the Great Bridge Historic Gateway Overlay District map below).

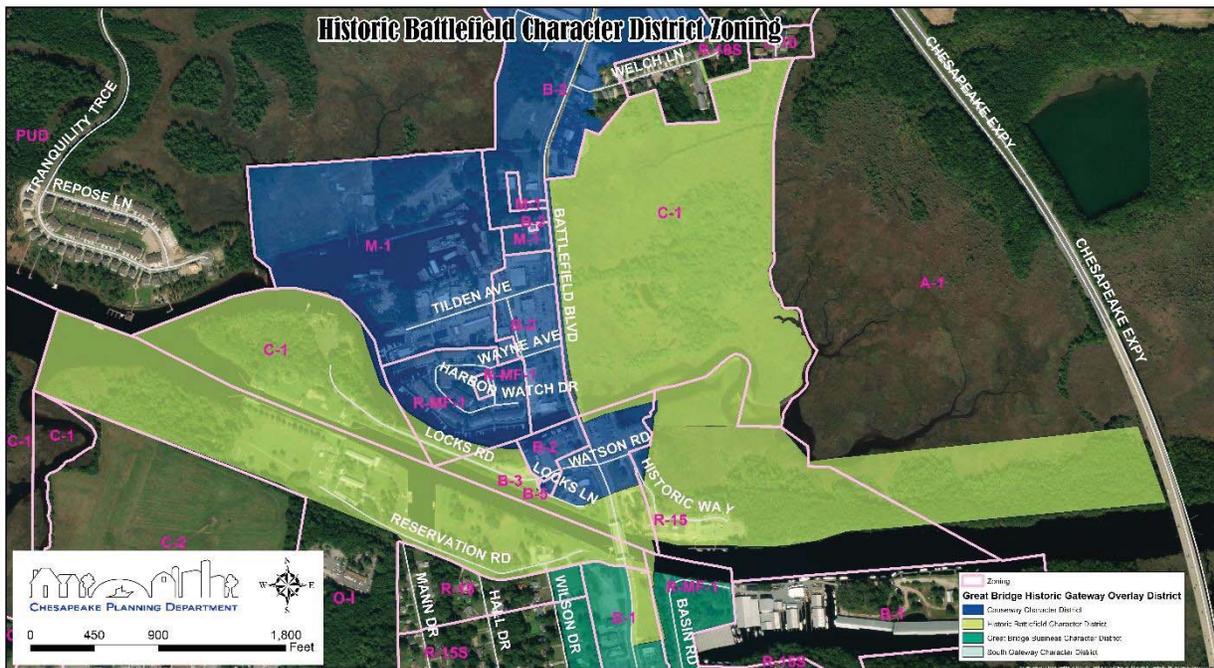
Great Bridge Historic Gateway Overlay District



The approximate boundaries of the Causeway Character District begin just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road and include primarily non-residential properties fronting on the east and west sides of Battlefield Boulevard North. Moving south, properties fronting on Tilden Avenue, Billy Flora Way, Avenue, and Watson Road are included, as is a large marshy/tidal area on the east side primarily owned by the City. The District terminates just south of the intersection of Watson Road and Locks Road. There are two zoning districts in the Causeway Character District, the B-2 General Business District and the M-1 Light Industrial District (see Causeway Character District Zoning Map). Land uses in this District include light industrial, attached condominiums, and shopping centers with a mix of restaurants, offices, and retail. Four public properties are owned by the City of Chesapeake, including two properties on Historic Way and pump stations on Locks Road and Tilden Avenue.

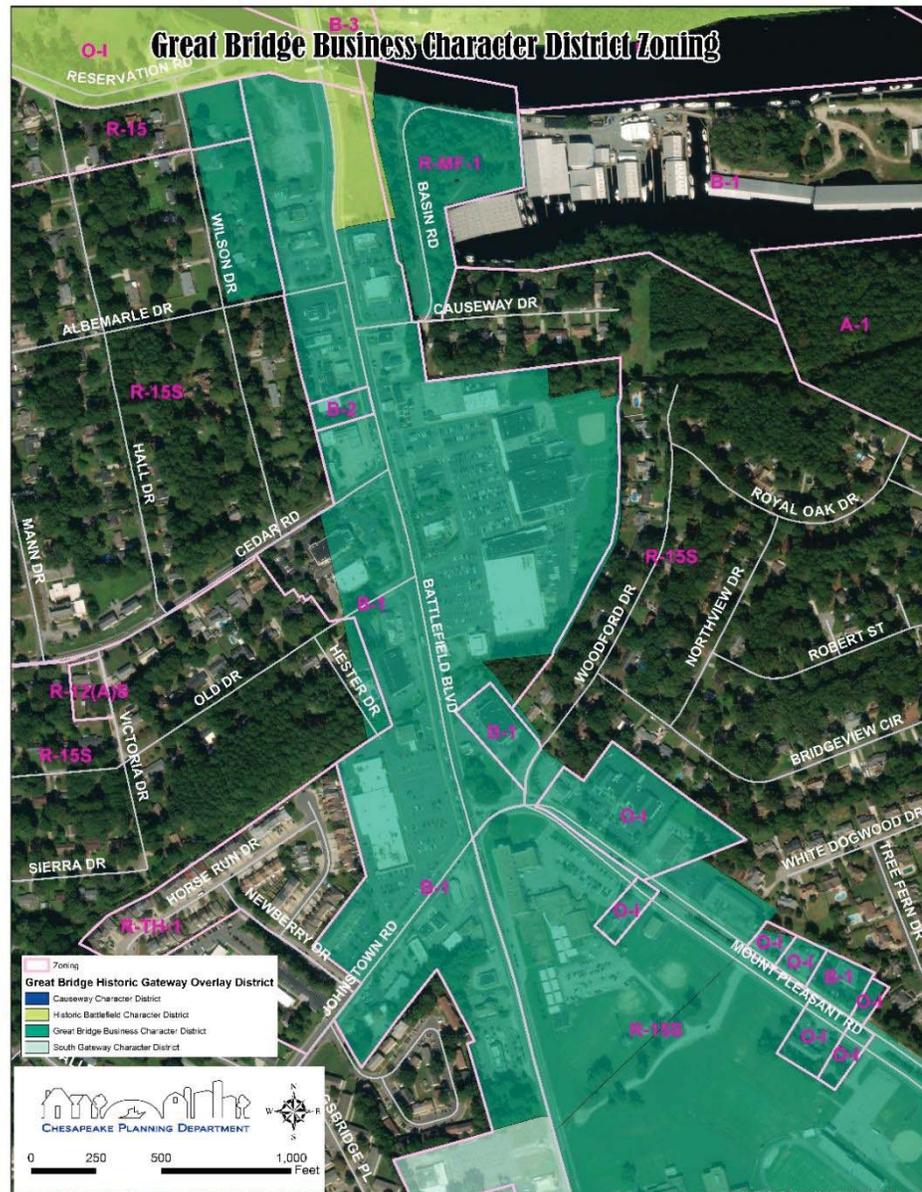


The approximate boundaries of the Historic Battlefield Character District, from west to east along the Albemarle and Chesapeake Canal, include twelve public properties owned by the Army Corps of Engineers (ACOE) and the City of Chesapeake. Some parcels owned by the ACOE in this area are leased by the City of Chesapeake for public park use. These properties include the Great Bridge Lock Park, properties north of Reservation Road, the site of the Battle of Great Bridge, and properties in Battlefield Park. The Historic Battlefield Character District contains a mix of zoning districts, including the C-2 Conservation District, R-15 Residential District, O-I Office and Institutional District, R-MF-1 Multifamily Residential District, and B-3 Highway Business District (see Historic Battlefield Character District Zoning). The land uses in this District include the new visitor center and museum, trails, water recreation, park lands, and other conservation uses.



The approximate boundaries of the Great Bridge Business Character District begin just south of Reservation Road at the Great Bridge Bridge. Properties fronting on both sides of Battlefield Boulevard South, as well as properties fronting on the east side of Wilson Road between Albemarle Drive and Callison Drive, are included. Undeveloped property on the east side of Basin Road is also included. The District continues south along Battlefield Boulevard to the intersection with Johnstown Road/Mount Pleasant Road and includes properties near the intersection. Properties fronting on the north and south sides of Mount Pleasant Road to a point near the entrance to the football stadium are also included. The Great Bridge Business Character District contains the B-1 Neighborhood Business Zoning District (see Great Bridge Business Character District Zoning). Three public properties, south of the intersection of Battlefield Boulevard and Mount Pleasant Road, are the location for the Chesapeake Public Schools Educational Services Center/SECEP Program, including the three-story Great

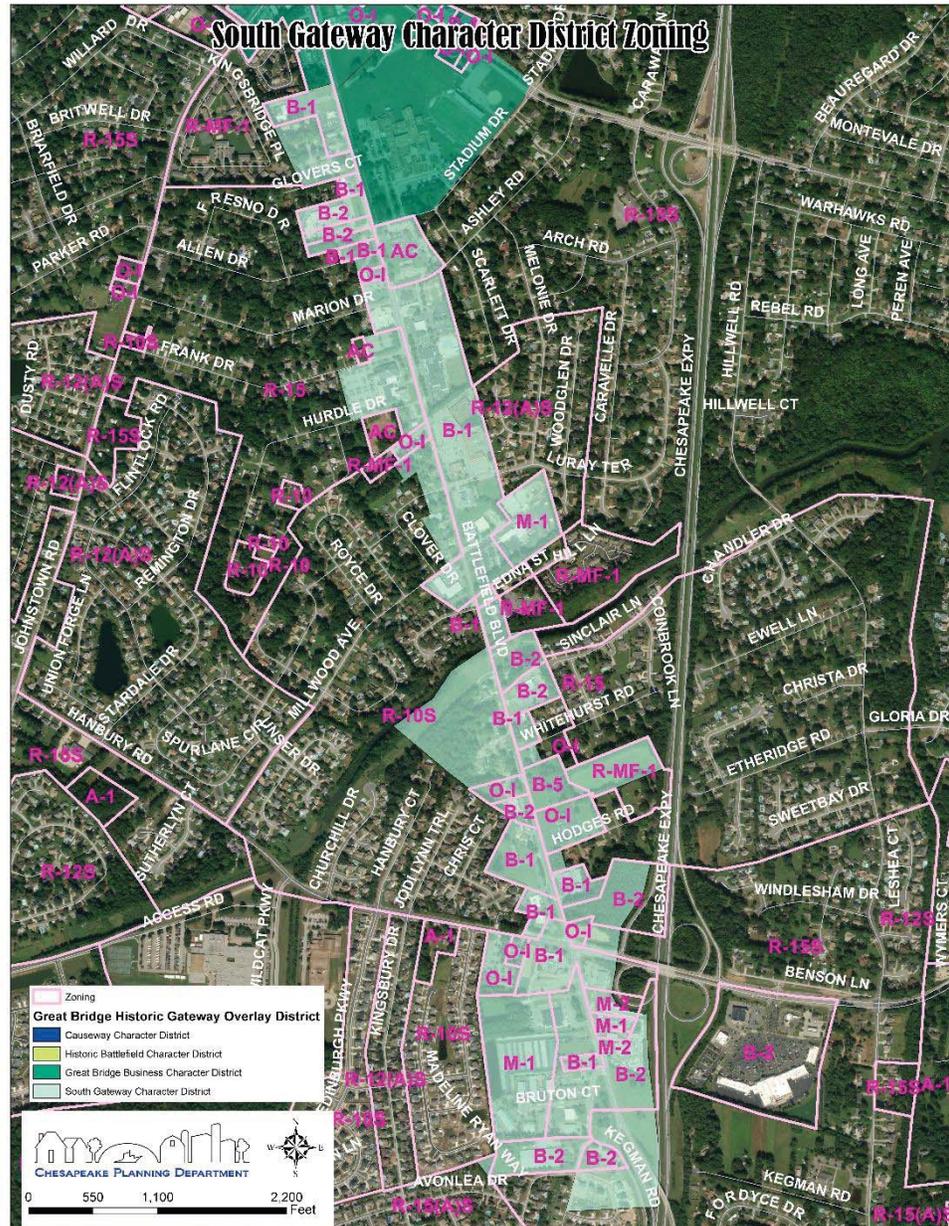
Bridge School, and the Great Bridge Middle School property. The land uses in this area are a school and other low-density commercial uses such as seated dining, fast food restaurants, shopping centers with a mix of commercial uses, banks, gas stations, auto repair, and other commercial and retail uses.



The approximate boundary of the South Gateway Character District begins just south of Battlefield Woods Court, past the intersection of Battlefield Boulevard South with Johnstown Road/ Mount Pleasant Road. The District continues south along Battlefield Boulevard where it terminates just west and south of the intersection of Battlefield Boulevard South and the Chesapeake Expressway. The South Gateway Character District includes a mix of zoning districts, including B-1 Neighborhood Business District,

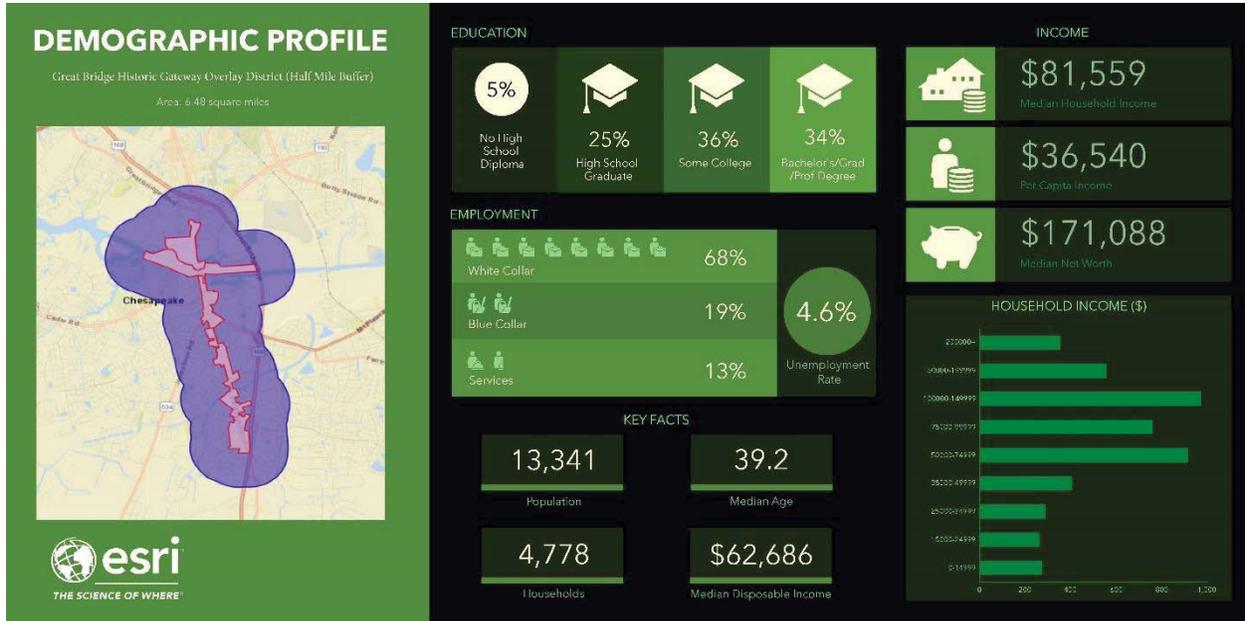
B-2 General Business District, R-MF-1 Multifamily Residential District, AC Assembly Center District, O-I Office and Institutional, and M-1 Light Industry (see South Gateway Character District Zoning map). There are three public properties; pump stations on Millwood Avenue and Battlefield Boulevard and the main post office just south of Hanbury Road on Battlefield Boulevard. The land uses in this District include

restaurants, apartments, churches, shopping centers with a mix of commercial and retail uses, a YMCA recreation center, brewery, and other commercial, office, and retail uses.



3.2 Demographics and Trends

In 2019, an estimated 13,341 people and 4,778 households lived within a half mile buffer of the Great Bridge Historic Gateway Overlay District (see below). There are an estimated 4,979 residential units with 62.8% of the units owner-occupied and 4.0% vacant (ESRI 2019). The median household income is an estimated \$81,559 with most people (68%) employed in white collar occupations. 72.8% of the population is white alone and 17.9% is black alone. The median age is 39.2 years old (ESRI 2019).

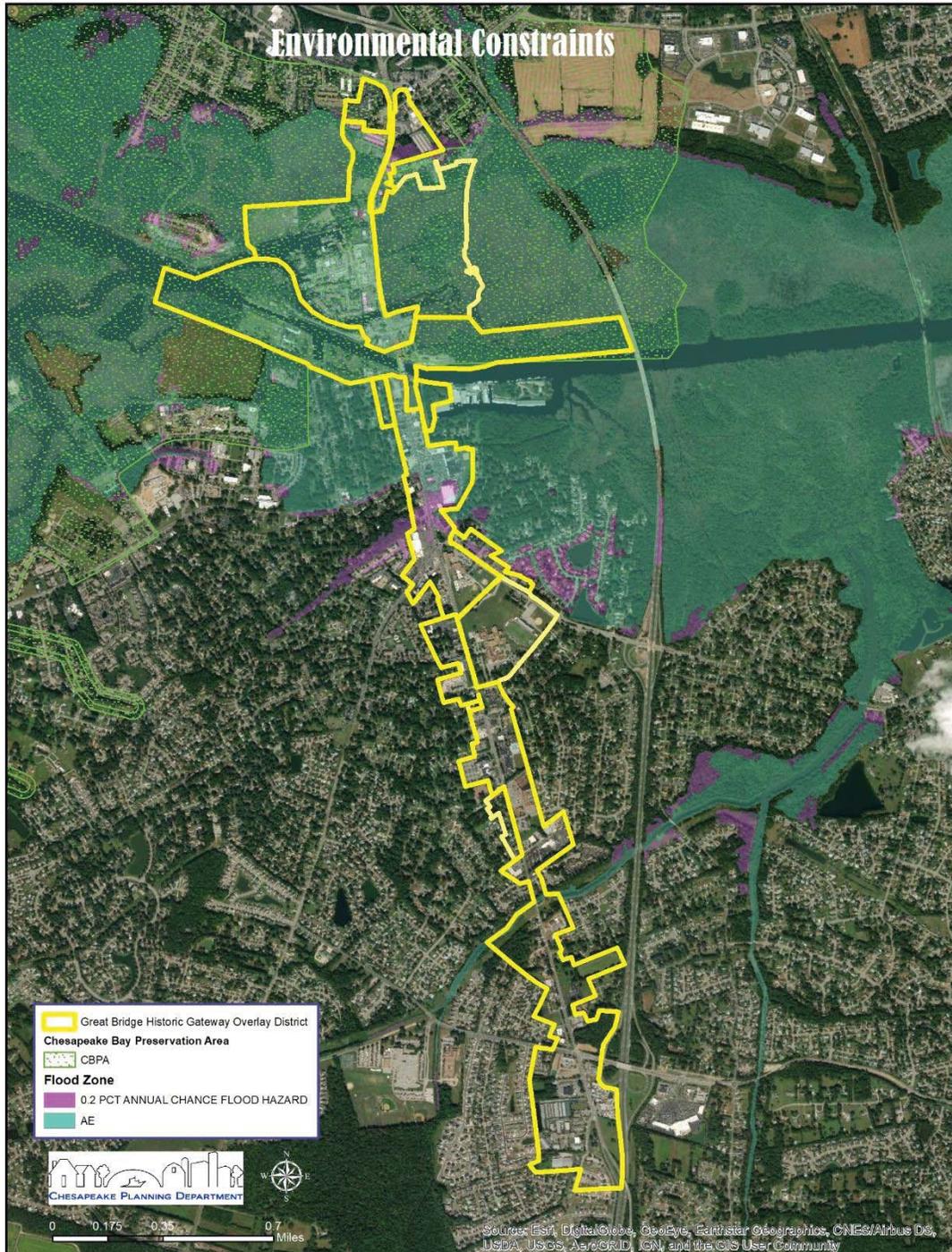


2019 Population by Race/Ethnicity	
Total	13,340
White Alone	72.8%
Black Alone	17.6%
American Indian Alone	0.3%
Asian Alone	3.7%
Pacific Islander Alone	0.2%
Some Other Race Alone	1.5%
Two or More Races	3.9%
Hispanic Origin	6.2%

Source: ESRI

3.3 Environmental Constraints

The various natural and man-made waterways, marshes, creeks, drainage ditches, ponds and other water features that are located in, or adjacent to, the study area contribute to its character and functionality, but can also become constraints to development and redevelopment. As illustrated by the map below, portions of the study area are particularly impacted by the Chesapeake Bay Preservation Area and flood



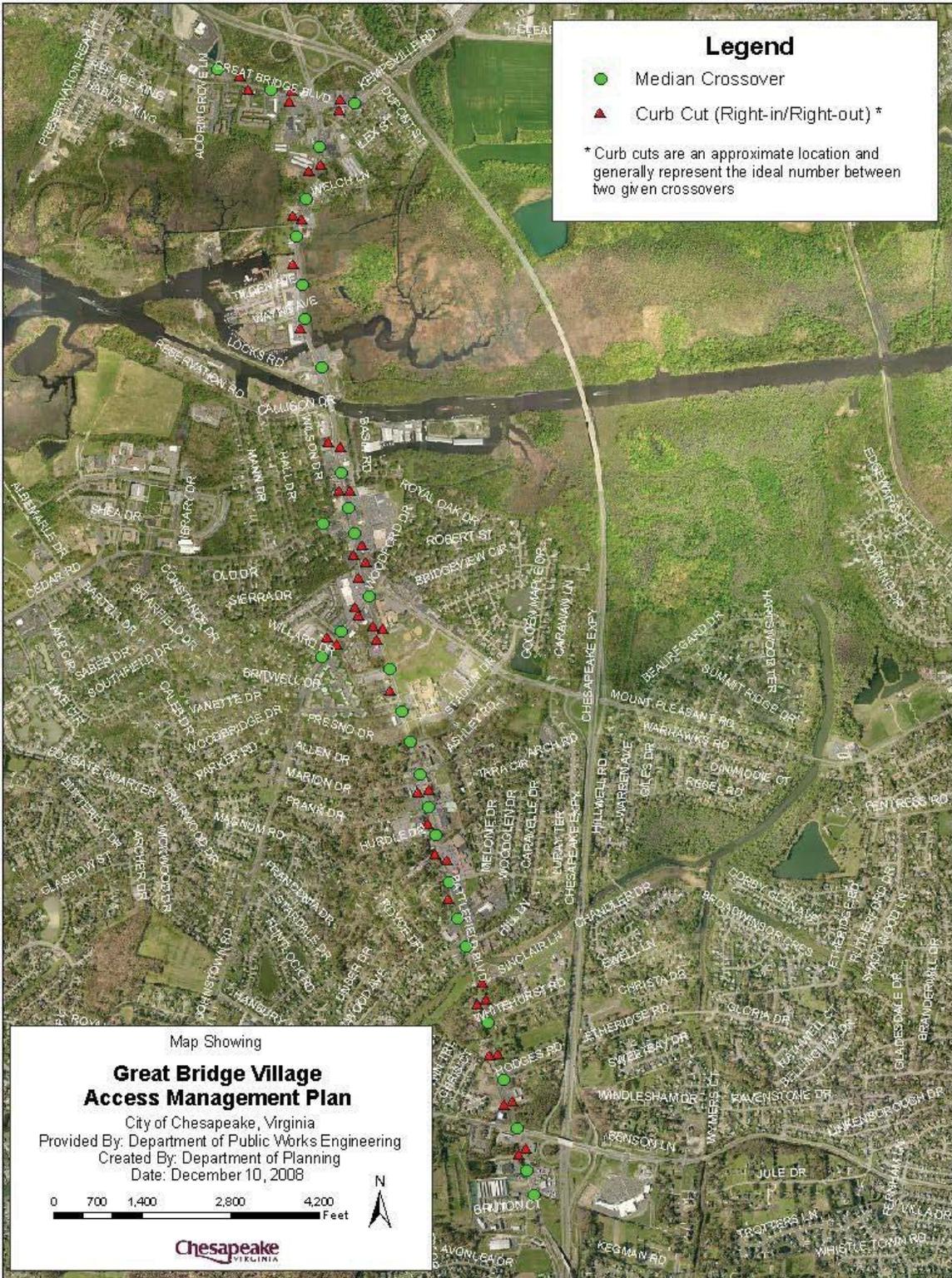
zone coverages, including the Causeway Character District, Historic Battlefield Character District, and northerly portion of the Great Bridge Business Character District. Poorly drained and hydric soils are also present in these areas, with tendencies toward subsidence and erodibility in the Causeway District. Due to the generally built-out land use pattern along much of the study area, satisfying Total Maximum Daily Load (TMDL) limits for storm water runoff may be an issue for new development or redevelopment.

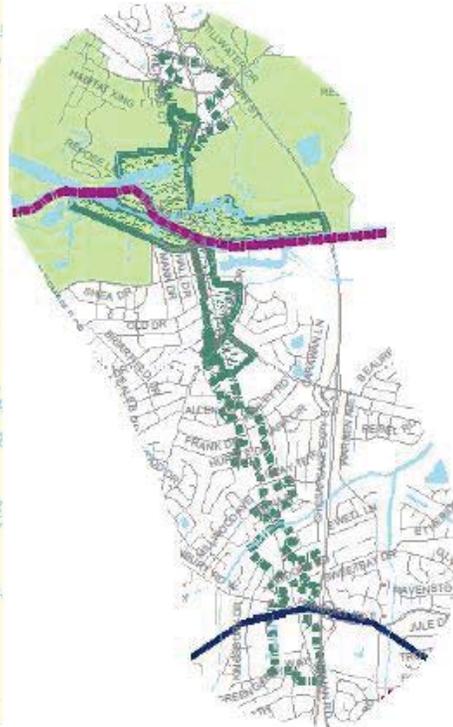
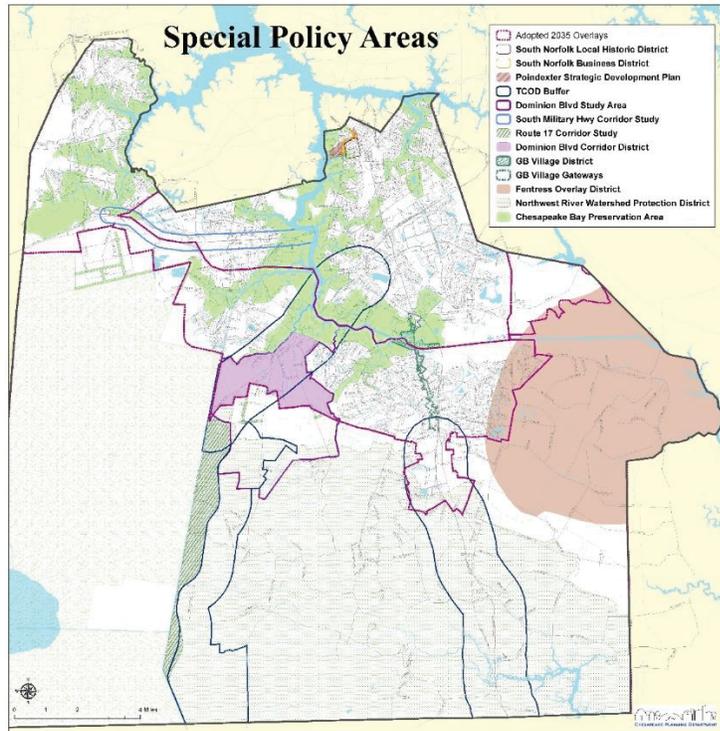
4. Transportation and Access Management Plan

The primary roadways serving the Great Bridge Historic Overlay District are Battlefield Boulevard, Great Bridge Boulevard, Albemarle Drive, Cedar Road, and Mount Pleasant Road. Battlefield Boulevard functions as the north-south artery for the area while Great Bridge Boulevard, Cedar Road, Albemarle Road, and Mount Pleasant Road provide east-west access for through traffic and residents. The 2035 Comprehensive Plan and accompanying 2050 Master Transportation Plan recommend improvements to these roadways to enhance vehicle and pedestrian safety, as well as improve traffic flow. The 2050 Master Transportation Plan recommends that Battlefield Boulevard accommodate six travel lanes from Kempsville Road/Great Bridge Boulevard to Mount Pleasant Road and four travel lanes from Mount Pleasant Road to Etheridge Manor Road/Hanbury Road. Along an expanded Battlefield Boulevard, the 2050 Master Trails Plan calls for on-street bike lanes and a sidewalk. Expansions of Mount Pleasant Road and Cedar Road are also recommended to accommodate six lanes of traffic.

Further recommendations are outlined for Battlefield Boulevard in the 2008 Great Bridge Village Plan. This plan recommends Battlefield Boulevard having a raised median with plantings and crossing treatments for pedestrians to provide refuge areas with the goal of encouraging pedestrian use and improving safety. Additionally, access points and turning movements should be limited on Battlefield Boulevard to help with traffic flow and overall safety, right in/right out only turns are encouraged, and shared access should be encouraged. The Great Bridge Village Plan also recommends improvements in transportation related design by installing sidewalks with treatments in main village areas. Crossing treatments and landscaping are additional tools to encourage place making and distinguish vehicular and pedestrian areas.

To create the desired village setting and promote pedestrian activity, access management and traffic flow will be important elements in the successful implementation of recommendations from the 2035 Comprehensive Plan and 2008 Great Bridge Village Design Guidelines. There are numerous turning movements and heavy congestion during peak travel times of the day on the primary roadways. Some infrastructure improvements have already been made, such as sidewalk and curb cut enhancements at the Great Bridge Boulevard/Battlefield Boulevard/Kempsville Road intersection. Further modifications to improve traffic flow at this site have been approved by City Council with the recent five year Capital Improvement Plan. However, the amount of traffic on Great Bridge roadways and the quantity of turning movements present challenges to vehicular and pedestrian flow.





Implementation of the Great Bridge Village Design Guidelines achieves several specific goals outlined in the 2035 Comprehensive Plan. These goals, located in the chapters on Responsible Growth and Quality of Life, include attaining “a land use pattern that is economically stable and that is responsibly grown over the course of time (p. 30).” To support this goal, “Chesapeake will continue to provide for the special needs of and considerations of unique areas and circumstances through the development and implementation of special area studies and plans (p. 41).”

Chesapeake should also seek to “establish a unique economic, cultural, and visual identity... as a destination in the region (p.132)” through “identify[ing] existing major roadways and medians for enhanced landscaping and streetscape treatment and [requiring] landscaping in future roadway projects (p.141).” Great Bridge and the area encompassed by the Great Bridge Village Design Guidelines are further referenced in the 2035 Comprehensive Plan as an example of a small area plan where streetscape improvements are recommended and area-specific design principles should be promoted and implemented (p.152-155).

To evaluate implementation strategies for the 2035 Comprehensive Plan, Mayor West appointed the Mayor’s Advisory Committee on Comprehensive Plan Strategies (MACCPS) in February 2018. The MACCPS reviewed all elements of the Comprehensive Plan, culminating in a final report containing prioritized action strategies from the Plan and recommendations for implementation. The Committee also reviewed key supporting studies such as the Great Bridge Village Design Guidelines and provided the following recommendations for that specific document:

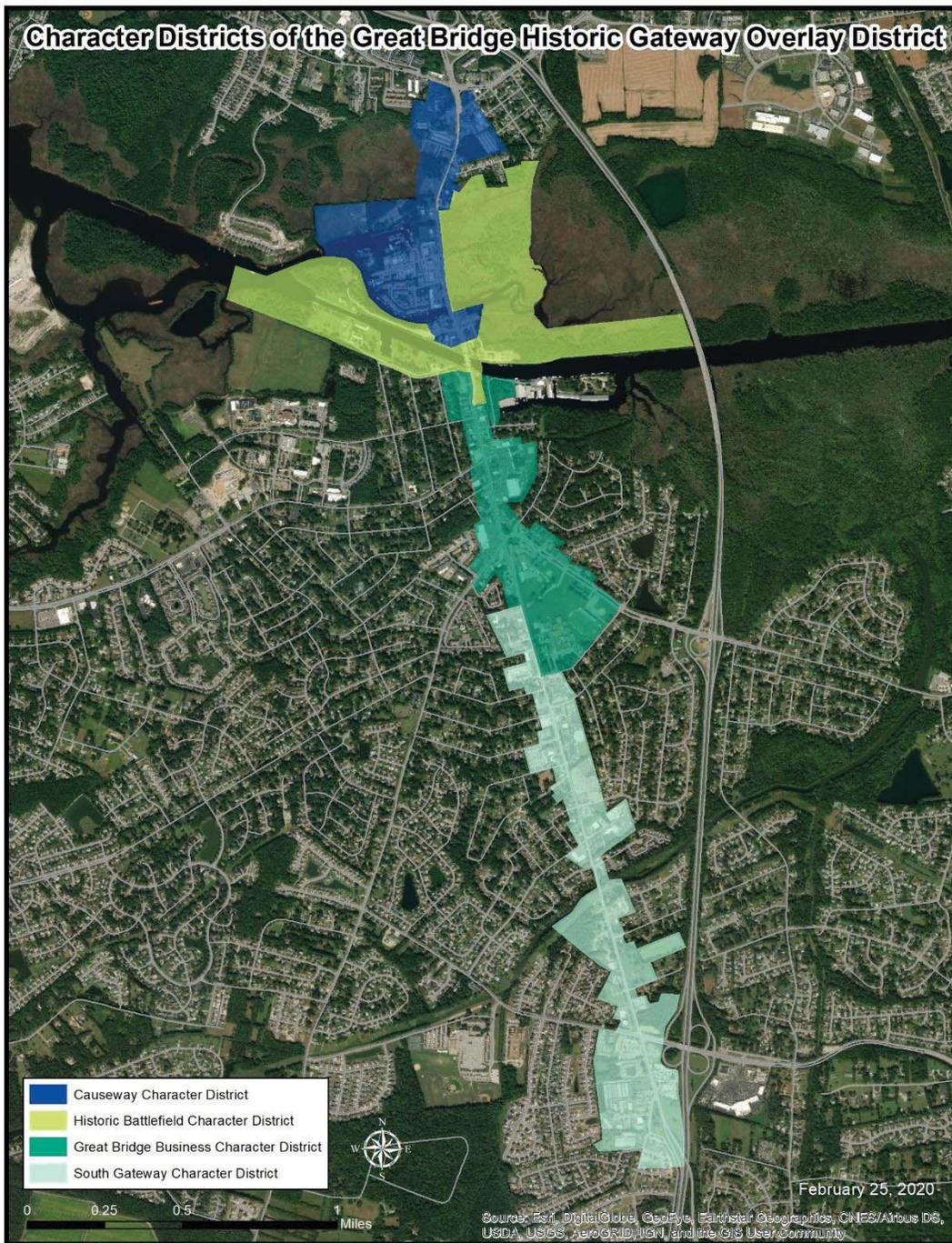
1. While coordinated land use and design can be a good foundation for an area vision, allowing some diversity in design can also contribute to the area's uniqueness.
2. Vacant or dilapidated properties should be addressed proactively.
3. Traffic congestion and neighbors' resistance to change are issues that will need to be addressed in the Causeway District, including a robust education and public awareness outreach effort to promote the plan vision while addressing concerns.
4. Key implementation strategies should be funded.

Additionally, because of its importance as a City Council adopted policy of the Comprehensive Plan, the Great Bridge Village Design Guidelines, in addition to establishing the blueprint for future development of this area, has also served to augment preservation of the historic Great Bridge Battlefield site. In particular, Comprehensive Plan policies for the Great Bridge Village have been used in the past to support federal Transportation Enhancement grant applications intended to facilitate development of the Great Bridge Battlefield and Waterways History Foundation Historic Park and Museum/Visitor Center.

6. Detailed Regulations Based on the Great Bridge Village Design Guidelines (2008)

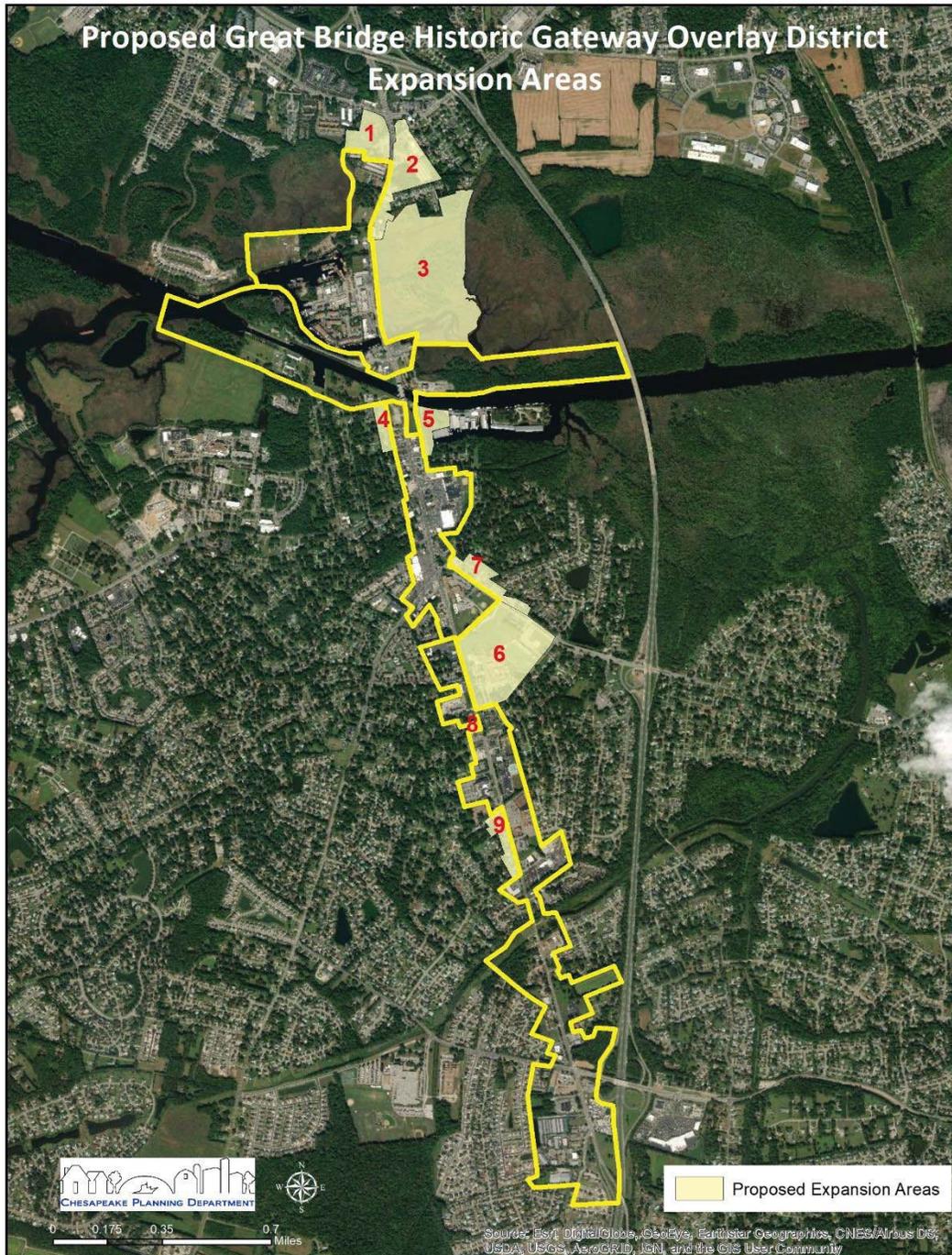
6.1 Applicability of Regulations

The Great Bridge Historic Gateway Overlay District shall include those areas designated as the Causeway Character District, the Historic Battlefield Character District, the Great Bridge Business Character District, and the South Gateway Character District, as identified on the map below entitled "Character Districts of the Great Bridge Historic Gateway Overlay District" and dated February 25, 2020:



These character districts are modeled after, but do not exactly correspond to, the Causeway District, Historic Battlefield District, Great Bridge Business District, and South Gateway District contained in the Great Bridge Village Design Guidelines. Based on input received during two identical public workshops held in the morning and evening on January 27, 2020, at the Chesapeake Central Library to educate the public and receive input on the proposed overlay district, boundaries of the proposed character districts

and proposed development standards were revised. Below is a map entitled “Proposed Great Bridge Historic Gateway Overlay District Expansion Areas,” which identifies the proposed areas for expansion beyond the boundaries of the 2008 Great Bridge Village Design Guidelines Districts.



Referencing the identifier numbers for the proposed expansion areas shaded in light yellow on the above map, below is a description of each area and rationale for inclusion:

Expansion Area	Description/Rationale
1	West side of Battlefield Blvd. N., from just south of intersection with Great Bridge Blvd./Kempsville Rd. to just north of self-storage complex, where original Causeway District begins. Area includes Oak Grove UMC and properties fronting on Battlefield Blvd. Area included to ensure that future redevelopment or major exterior renovations in this northern approach to the Causeway Character District will be compatible with District development standards. The area is currently in transition and has a lack of cohesive development styles.
2	East side of Battlefield Blvd. N., from just south of intersection with Great Bridge Blvd./Kempsville Rd. to Wargo Automotive property, where expanded area ends. Area includes American Legion leased property and commercial properties fronting on Battlefield Blvd. Area included to ensure that future redevelopment or major exterior renovations in this northern approach to the Causeway Character District will be compatible with development standards. The area currently displays a high degree of visual clutter.
3	Marshy/tidal/wetland area owned by the City on east side of Battlefield Blvd. N. from just south of Welch Lane to northern boundary of original Historic Battlefield District. Area included to ensure that despite current environmental constraints, any future uses in this area will be compatible with development standards for the Historic Battlefield Character District.
4	Residential properties fronting on east side of Wilson Dr. between Albemarle Dr. and Callison Dr. Area included to ensure that future redevelopment of properties fronting on Battlefield Blvd. S. in this same block seeking to incorporate Wilson Dr. properties will be compatible with development standards for the Great Bridge Business Character District and Great Bridge Village Access Management Plan, and provide protections for the existing neighborhood.
5	Undeveloped waterfront property east of Battlefield Blvd. S. along Basin Rd. and fronting on Albemarle and Chesapeake Canal. Area included to ensure that future development of the property will be compatible with development standards for the Great Bridge Business Character District.
6	Great Bridge Middle School property. Area included to ensure that any future redevelopment or major exterior renovations will be compatible with development standards for the Great Bridge Business Character District and the Architectural Compatibility Zone around the three-story Great Bridge School complex to the north. Expanded area also includes several commercial properties fronting on south side of Mt. Pleasant Rd.
7	Properties fronting on the north side of Mt. Pleasant Rd. from a point near the entrance to the Great Bridge Middle school football stadium and heading westward to the intersection with Woodford Dr. Expanded area includes a small strip shopping center, veterinary clinic, church, child day care facility, Towne Bank, and a legal office. Area included to ensure that future redevelopment or major exterior renovations along this approach to the Battlefield Blvd. corridor will be compatible with development standards for Great Bridge Business Character District and relate positively to the Great Bridge Middle School site across the road.
8	Corner properties at intersection of Allen Dr. and Battlefield Blvd. S. Area included to ensure that future development or redevelopment will be compatible with development standards for the South Gateway Character District and will contribute to the overall appearance and connectivity of the corridor.

9	Properties fronting on west side of Battlefield Blvd. S. from a point just south of Great Bridge Church of Christ property to intersection of Battlefield Blvd. and Millwood Ave. Area included to ensure that future redevelopment or major exterior renovations will be compatible with development standards for South Gateway Character District and will contribute to the overall appearance and connectivity of the corridor.
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The development standards for the Great Bridge Historic Gateway Overlay District shall apply to new construction of a principal structure that occurs after the effective date of the establishing ordinance and major exterior renovations to an existing principal structure within the areas designated as the Causeway Character District, Historic Battlefield District, Great Bridge Business Character District and the South Gateway Character District. For purposes of the ordinance, the term “major exterior renovations” shall include any reconstruction, rehabilitation, addition or other improvement, the cost of which equals or exceeds fifty percent (50%) of the building’s assessed value as determined by the most recent assessment by the City’s Real Estate Assessor. In the event of a conflict, the standards set out in the ordinance will supersede any contrary Zoning Ordinance provision.

City Council approved the Great Bridge Village Design Guidelines on December 16, 2008. The Guidelines will be incorporated by reference in the Great Bridge Historic Gateway Overlay District establishing ordinance and shall apply to applicable properties as outlined in the ordinance, as determined by the Planning Director or designee. The Great Bridge Village Design Guidelines may only be amended by City Council in the same manner as amendments to the Zoning Ordinance.

For properties located in the South Gateway Character District, development shall conform to the development standards of the underlying zoning district. However, any proposed construction or exterior reconstruction, alteration or restoration of a building, structure or sign within the district may not occur until it is reviewed by the Planning Director, or designee, for compliance with the standards applicable to the district. No building permit issued for such work shall be valid until the work has been approved by the Planning Director, or designee, as being in conformance with TCOD standards.

In all cases, Article 15 of the Chesapeake Zoning Ordinance, entitled Nonconformities and Status of Approved Development Plans, i.e., “grandfathering provisions” or “vested rights” remains in full force and effect with the adoption of the Great Bridge Historic Gateway Overlay District.

6.2 Development Standards

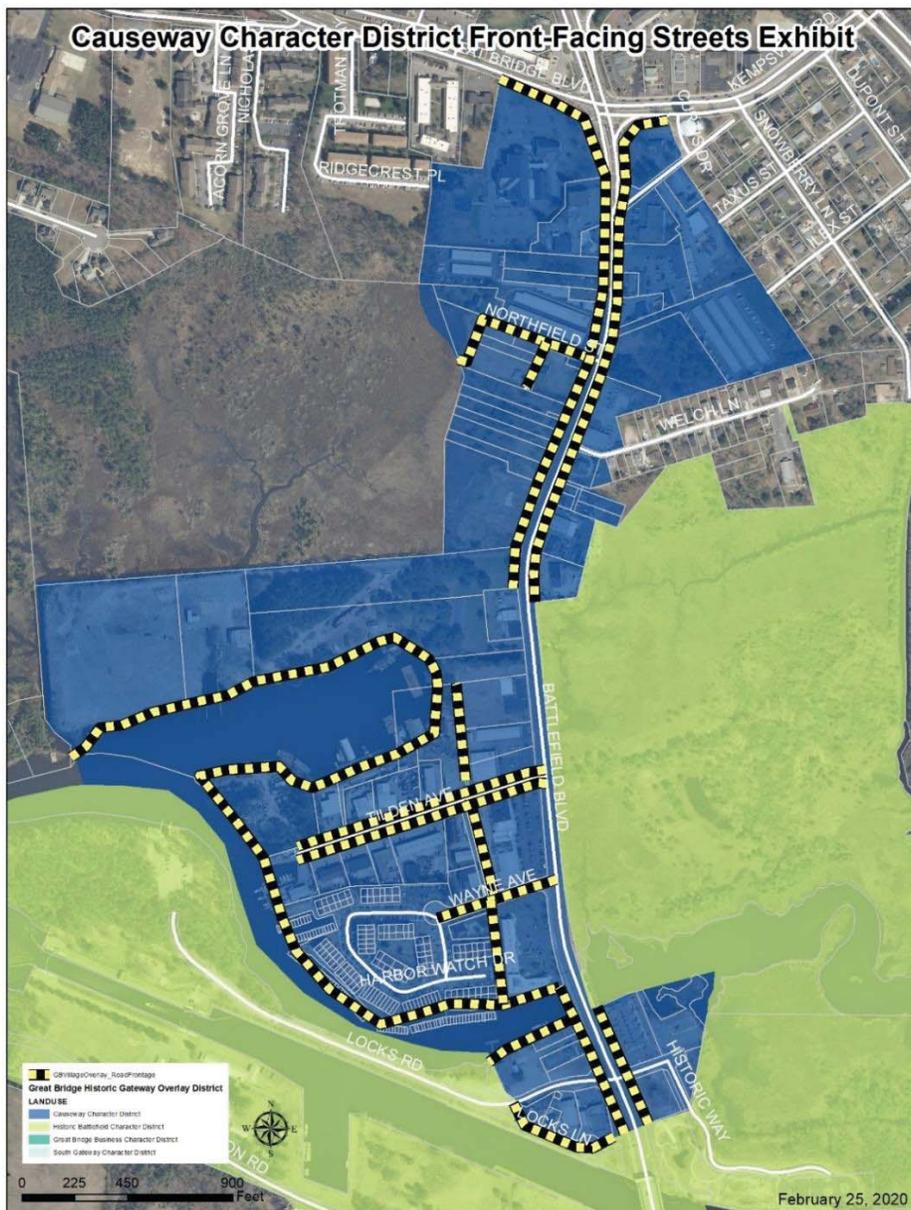
The Causeway Character District

The Causeway Character District includes properties fronting on Battlefield Boulevard North from just south of the intersection of Battlefield Boulevard, Great Bridge Boulevard, and Kempsville Road in the north to Watson Road in the south. The District also includes those properties located behind the properties fronting on Battlefield Boulevard and extending east and west to the surrounding waterways and marshlands. The intent of the Causeway Character District is to foster the development and redevelopment of land uses associated with a mixed use community waterfront village that promotes and preserves the historic significance of the area. Unlike the Great Bridge Business Character District, the Causeway Character District does not have a direct connection to adjacent residential areas and is surrounded on the east and west by waterways and other natural resources; therefore it is well suited to the development of a positive and compatible relationship to the Battle of Great Bridge historic site, as well as the historically significant Albemarle and Chesapeake Canal (A&C Canal). All development in the Causeway Character District must be sensitive to these aspects of the area, as well as environmental considerations and constraints. Furthermore, any development must also be sensitive to transportation infrastructure limitations.

Development within the Causeway Character District will be conducted in a manner that addresses the following objectives:

- Promotion of environmental remediation and reclamation of lands that have been exposed to contamination;
- Consideration for environmentally sensitive areas through the implementation of appropriate buffers, building techniques, methods, and materials;
- Reduction in visual clutter through the development of a cohesive design aesthetic, sensible signage, and well considered landscape buffers;
- Minimizing impact to existing traffic challenges by reducing access points to Battlefield Boulevard, creation of shared access points, and implementation of the Great Bridge Village Access Management Plan;
- Establishment of safe and functional pedestrian and other non-automobile modes of transportation opportunities throughout the District and along Battlefield Boulevard; and
- All development, residential or otherwise will comply with the City's development timing policies, including, but not limited to, the Planning and Land Use Policy (LOS Policy).

To this end, development within the Causeway Character District will occur with a common focal point of the adjacent waterways and natural areas. New development will occur in a manner that does not compromise or detract from these amenities and maximizes the advantages created by these features. Parking and other accessory and supportive land uses should be located inward and away from significant features. Interior circulation streets shall be treated as the “fronting” streets with buildings oriented in these directions with front setbacks measured from these roadways. In some cases, the “front-facing street” is a waterway; in these cases, setbacks will be reviewed with a sensitivity to the waterway on which they front. The below map entitled “Causeway Character District Front-Facing Streets Exhibit” depicts which streets within this district shall be considered front-facing streets:



Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the Causeway Character District as opposed to providing direct access to individual land uses. Accessory land uses that abut Battlefield Boulevard shall include landscaped buffers that include pedestrian / bikeway infrastructure. The street cross sections included in the Great Bridge Village Design Guidelines shall be used in the development of individual site plans to establish a consistent development pattern along streets. The Great Bridge Village Design Guidelines will be used as the standard for the evaluation and approval of development proposals.

New development within the Causeway Character District shall comply with the MXD-U, Mixed Use Urban District development standards, unless otherwise specified in the ordinance. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. The following specific development standards contained in the ordinance are highlighted:

- The mixture of uses in this district shall include at least two (2) different classifications of land use (office, hotel, residential or retail). The Great Bridge Village Design Guidelines is supportive of live-work opportunities; however, residential development is not required as a component of mixed use in the Causeway Character District. Mixed use buildings with residential use on the upper floors shall require a conditional use permit as set forth in Section 12-807.D. of the ordinance.
- The maximum height of a building or structure shall not exceed four (4) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit by City Council. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guidelines set forth in the adopted Great Bridge Village Design Guidelines, including massing.
- As noted above, development within this District shall be oriented toward front-facing streets, with parking and other accessory uses located inward and away from waterways and natural features to maximize the advantages created by these features. Battlefield Boulevard will continue to function as a major arterial roadway and be designed to move traffic through the District as opposed to providing direct access to individual land uses. Vehicle entrances shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee. Joint access for vehicle entrances will be encouraged.
- The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. However, the Planning Director or designee may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for

good cause shown as to the need for the variation. Build-to lines shall be established that accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks, and other amenities. Building frontages shall align along the street. Corner lots and buildings with multiple frontages shall provide primary consideration for pedestrian activity. Building fronting streets are shown above in the map exhibit entitled "Causeway Character District Front-Facing Streets Exhibit." Lots that are adjacent to waterways shall be considered to have dual frontage on both the fronting street and the waterway.

- Buffer areas shall be provided in accordance with the requirements for B-2, General Business Districts, as set forth in Section 19-600 et seq. of the Zoning Ordinance; provided that development abutting residentially zoned or used properties shall install and enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set forth in the adopted Great Bridge Village Design Guidelines. The following exceptions apply:
 - When the width of any setback is less than the required width of a buffer area under Section 19-600 et seq. of the Zoning Ordinance, the buffer area width may be reduced; provided that the amount and types of structures and/or plants required under Section 19-600 of the Zoning Ordinance must be installed within the reduced setback area to the maximum extent possible. The arrangement of the structures and plants shall be subject to review and approval by the City's Landscape Coordinator.
 - When the front yard setback is zero (0) feet, no front yard buffering shall be required.
 - Properties that abut, but do not front on Battlefield Boulevard North, as illustrated on the map entitled "Causeway Character District Front-Facing Streets Exhibit" shall install a street buffer frontage yard meeting or exceeding the requirements of Zoning Ordinance Section 19-600 along Battlefield Boulevard North. All such buffer yards shall include a pedestrian features to provide pedestrian connectivity throughout the corridor.
- A signage plan shall be submitted to the Planning Director during project review as set forth in the ordinance. Signs in the Causeway Character District shall comply with the adopted Great Bridge Village Design Guidelines and the requirements for residential districts as specified in Section 14-700 et seq. of the Zoning Ordinance. In the event of a conflict, the following provisions below shall also apply and control:

- The total sign area for all signs on premises shall not exceed one (1) square foot of sign area for each linear foot of public right-of-way frontage
- No sign shall extend above or on the roofline of the building face
- Freestanding signs are prohibited between the street and principal building when there is no front yard setback for the principal building
- Overhanging signs, extending out from the building and overhanging a sidewalk, street, alley or other passageway, are prohibited unless a special permit is approved by the Director of Development and Permits or designee, per Section 66-121.1 of the City Code.
- Box signage, outdoor advertising, and flashing, variable, or electronic message signs are prohibited.

Historic Battlefield Character District

The Historic Battlefield Character District shall consist of primarily public lands located adjacent to the Albemarle and Chesapeake Canal and is intended to preserve existing historic character to maximize the area’s waterway and historical significance.

Development shall comply with the underlying zoning district, unless otherwise specified in the ordinance, and shall be compatible and consistent with the new visitor center and museum in design, as determined by the Planning Director or designee. Colonial architecture with traditional colors shall be featured for any new construction of a principal structure. The Planning Director shall obtain the formal recommendation of the Chesapeake Historic Preservation Commission prior to the approval of any new construction within this District. All landscape buffers and vegetation shall consist of native vegetation to compliment and be consistent with historical arrangements, as set forth in the adopted Great Bridge Village Design Guidelines.

Great Bridge Business Character District

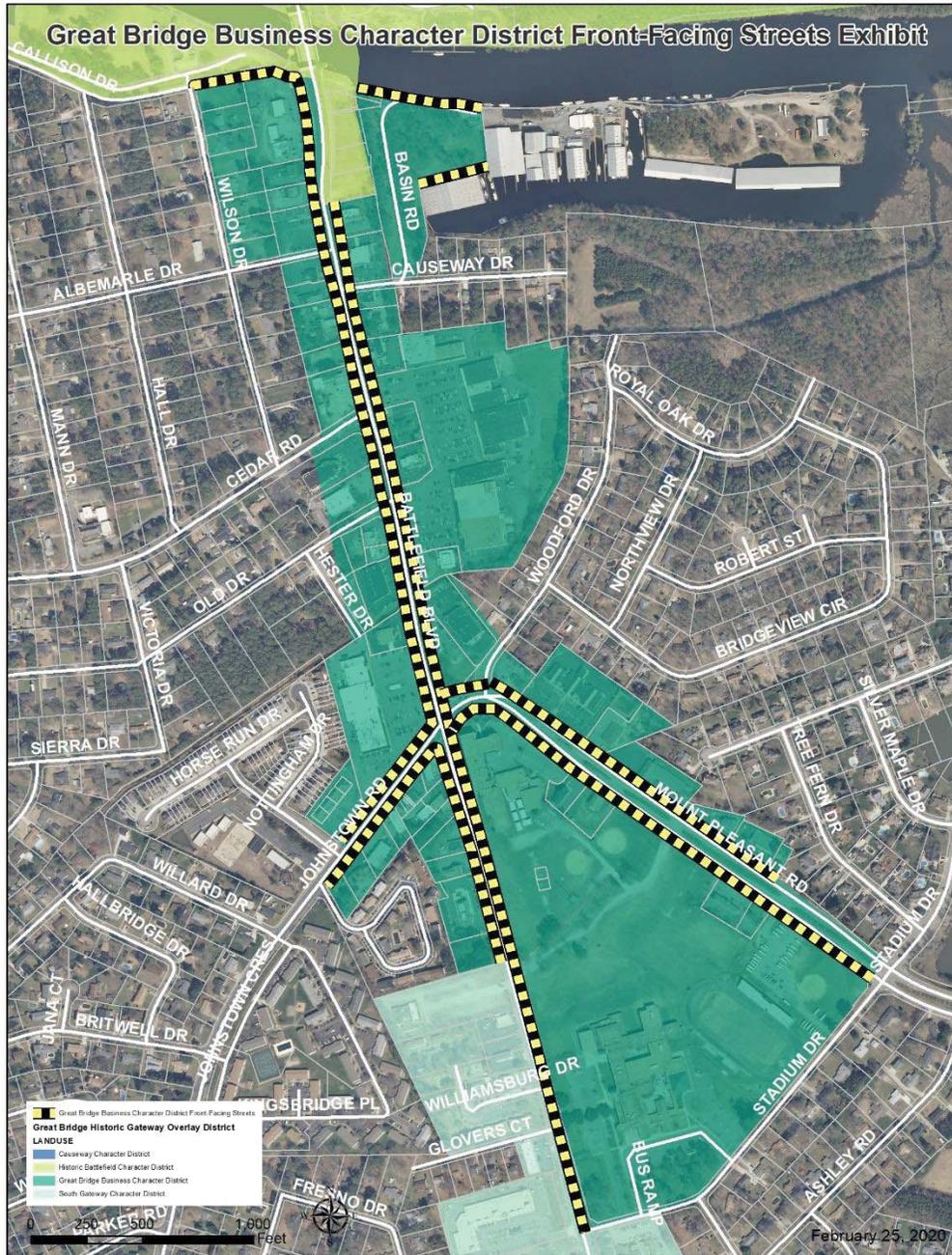
The intent of the Great Bridge Business Character District is to enhance the existing community scale village concept through capitalizing on the history of the area and its connections to the adjacent residential neighborhoods. Development should focus on aesthetically pleasing construction and provide useful community goods, services, and gathering places. Traffic should be managed and focused on creating a safe and functional pedestrian environment.

Development within the Great Bridge Business Character District will be conducted in a manner that addresses the following objectives:

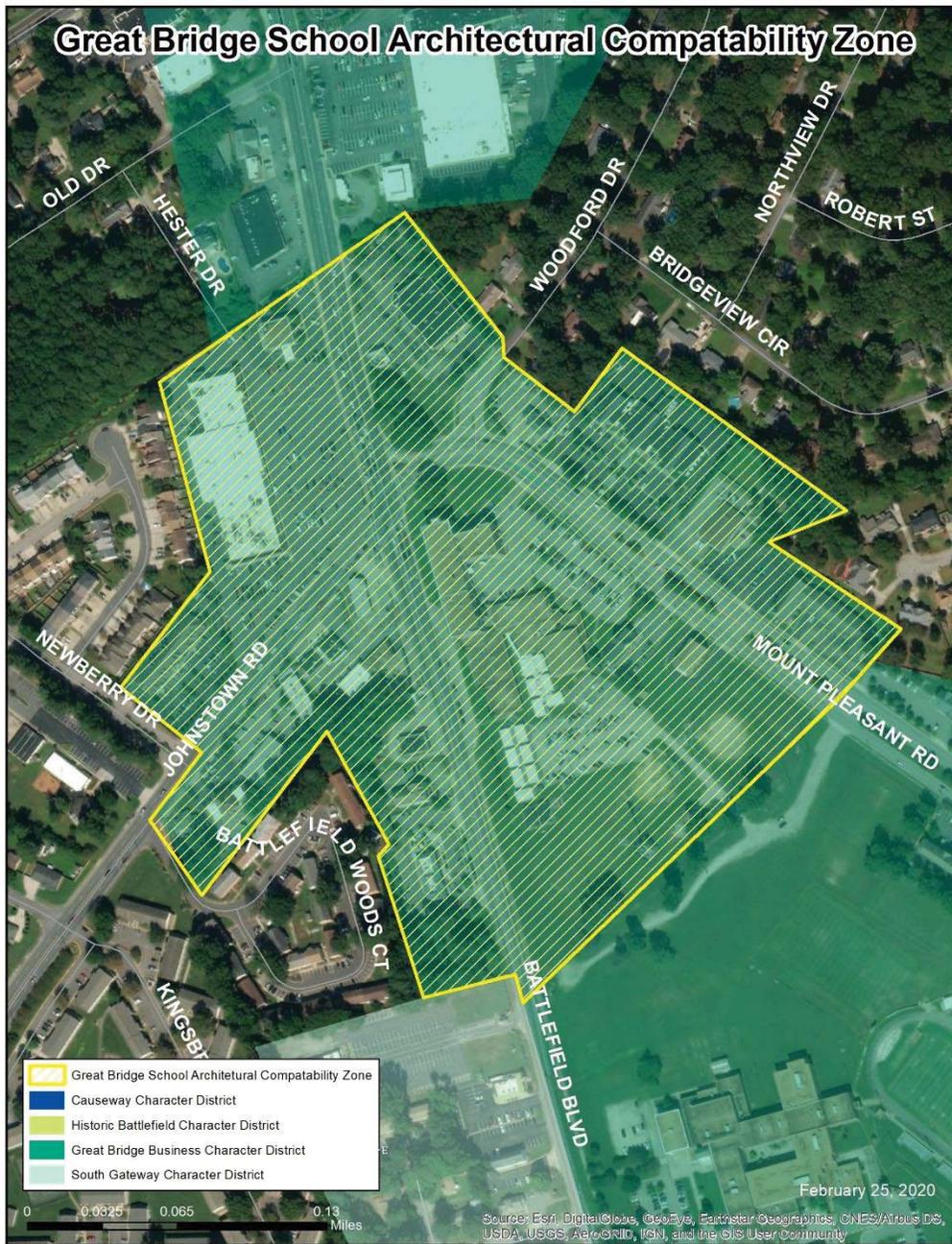
- Minimizing impacts to the adjoining residential neighborhoods by creating complementary land uses through developing/redeveloping commercial properties with suitable density and intensity;

- Adequately addressing the impacts of noise, smell, and glare on the adjoining residential properties;
- Sensitivity to environmental considerations through the implementation of appropriate buffers, building techniques, methods, and materials;
- Reduction in visual clutter through the development of a cohesive design aesthetic, sensible signage, and well considered landscape buffers;
- Minimizing impact to existing traffic challenges by reducing access points to Battlefield Boulevard, creation of shared access points, and implementation of the Great Bridge Village Access Management Plan;
- Establishment of safe and functional pedestrian and other non-automobile modes of transportation opportunities throughout the District, along Battlefield Boulevard, and creating connections to adjacent residential neighborhoods;
- Special consideration for development at the intersection of Battlefield Boulevard South/ Mount Pleasant Road/Johnstown Road to protect the existing mature trees and to develop in a manner that is compatible with the Great Bridge School;
- Maintain the use of the Great Bridge Shopping Center as a gathering place in Great Bridge, while encouraging façade upgrades and development of outparcels to reflect the GBVDG and development standards outlined in this section;
- Consolidate smaller parcels in the southwest corner of Battlefield Boulevard South and Johnstown Road to create opportunity for redevelopment with improved access and circulation;
- Consideration for the reconfiguration of Wilson Village Shopping Center to take better advantage of its road frontage and visibility; and
- All development will comply with the City’s development timing policies, including, but not limited to, the Planning and Land Use Policy (LOS Policy).

Development within the Great Bridge Business Character District will be focused toward Battlefield Boulevard South and to its intersection with Johnstown and Mount Pleasant Roads, as depicted on the below map entitled “Great Bridge Business Character District Front-Facing Streets Exhibit.”



New development will occur in a manner that creates a cohesive commercial village core that relates positively to the Historic Battlefield Character District to the north and to the outlying residential neighborhoods to the east and west. Special sensitivity shall be paid to the historically significant Great Bridge School and new development shall reflect a sensitivity to the scale, massing, and design elements of this building. To this end, as depicted on the map below entitled “Great Bridge School Architectural Compatibility Zone,” buildings and structures within this zone shall be no more than three (3) stories.



Every effort should be made to preserve the existing mature trees located at this intersection. The street cross sections included in the Great Bridge Village Design Guidelines shall be used in the development of individual site plans to establish a consistent development pattern along streets.

Development on all commercially zoned property within the Great Bridge Business Character District shall comply with the B-1 Neighborhood Business District, unless otherwise specified in the establishing ordinance. Development standards will not apply

to residentially zoned properties. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. The following specific development standards contained in the ordinance are highlighted:

- The maximum height of a building or structure shall not exceed two (2) stories; provided that this maximum height may be exceeded with the approval of a conditional use permit by City Council. Buildings and structures in the Great Bridge Architectural Compatibility Zone as depicted on the map noted above of the same title, shall be no more than three (3) stories to encourage massing compatibility with the historically significant Great Bridge School. Residential uses on upper floors of buildings in the Zone shall require a conditional use permit per Section 12-807.D. of the ordinance. New construction of a principal structure and major exterior renovations of an existing principal structure shall adhere to the design guideline set forth in the adopted Great Bridge Village Design Guidelines, including massing.
- Development within the Character District shall be oriented toward Battlefield Boulevard South, Cedar Road, Johnstown Road, and Mount Pleasant Road, as depicted on the map noted above entitled “Great Bridge Character District Front-Facing Streets Exhibit.” Corner lots and buildings with multiple frontages shall provide primary consideration to pedestrian activity. Vehicle entrances to Battlefield Boulevard shall conform to the Great Bridge Village Access Management Plan, as determined by the Director of Development and Permits or designee.
- The front yard setback shall range from zero (0) to ten (10) percent of the lot depth. Build-to lines shall be encouraged to accommodate planned outdoor dining areas, public plazas, landscaping, sidewalks, and other amenities. The Planning Director or designee may provide written approval to permit a front yard setback to exceed ten percent (10%) of the lot depth for good cause shown as to the need for variation. Lots that are adjacent to waterways shall be considered to have two (2) front yards on both the fronting street and the waterway.
- Buffer areas shall be provided in accordance with the requirements of Section 19-600 et seq. of the Zoning Ordinance; provided that developments abutting residentially zoned or used properties shall install and enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting such residential zoning or use. All plant materials shall be native vegetation as set for the in the adopted Great Bridge Village Design Guidelines.
- A signage plan shall be submitted to the Planning Director during project review as set forth in the establishing ordinance. Signs in the Character District shall

comply with the adopted Great Bridge Village Design Guidelines and the sign standards for the B-1, Neighborhood Business District, as set forth in the Zoning Ordinance. Box signage, outdoor advertising, and flashing, variable, or electronic message signs are prohibited.

South Gateway Character District

The South Gateway Character District includes properties that front on Battlefield Boulevard South from the southern limits of the Great Bridge Business Character District to and through the Hanbury Road intersection, which is the upper limit of the Route 168 Transportation Corridor Overlay District (TCOD). This area consists of a mixture of zoning uses and it is the intent of the Great Bridge Historic Overlay District to harmonize these uses by applying the design standards set forth in the adopted TCOD. The purpose of the South Gateway Character District is to provide a continuous transition between the Great Bridge Historic Gateway Overlay District to the north and the Transportation Corridor Overlay (TCOD) District to the south.

Development in this district shall comply with the underlying zoning district and the adopted TCOD, unless otherwise specified in the ordinance. In the event of a conflict, the standards set out in the ordinance shall supersede any contrary Zoning Ordinance provision. Applicable properties shall adhere to the design guidelines set forth in the adopted TCOD. New construction of a principal structure shall be subject to the following design standards:

- Development shall be Southern Colonial, French Colonial, or Coastal Colonial, with thematically appropriate architectural elements and materials such as brick and stone masonry, stucco, wood shingle, wood clapboard, board and batten, or alternative materials that achieve the same style. Porches, stoops, and decks with decorative columns, railing, and spindles or balusters are encouraged. Windows shall include visually prominent sills, muntins, shutters, and other framing details. Use gabled or hipped roofs, or a combination thereof with chimneys, dormers, and other accentuating design features that articulate rooflines.
- Use of prefabricated corrugated metal panels, smooth-faced concrete block; and smooth-faced tilt-up concrete panels on facades of primary buildings facing Battlefield Boulevard South is prohibited, and may only be permitted on side and rear facades if well screened from Battlefield Boulevard South. Facade color shall be low reflectance, subtle, neutral or earth tone colors. Brighter, trademark colors shall only be an accent. Rooftop mechanical units, flues, and vents shall be organized and screened.
- Outdoor furnishings and public amenities shall be consistent with the design themes set forth in the adopted Great Bridge Village Design Guidelines.

- Building setbacks and standards shall adhere to the underlying zoning district. All new construction of a principal structure along the corridor shall install an enhanced landscape buffer consisting of twenty-five percent (25%) more plant material than required along the property line abutting Battlefield Boulevard South, as determined by the City’s Landscape Coordinator. All plant materials shall be native vegetation appropriate to the Southern Colonial theme, as set forth in the adopted Great Bridge Village Design Guidelines. Landscaped verges will create both visual appeal and protection for pedestrians and will be constructed in a manner to accommodate the ultimate right of way cross section for Battlefield Boulevard South.

6.3 Land Use Tables/ Recommendations

6.3.1 Description

- A. *In general.* The following tables set out all uses which are permitted or which may be allowed through the granting of a conditional use permit by City Council, in the Great Bridge Historic Gateway Overlay District. Where a use is not listed, it shall not be allowed as a permitted or conditional use in these districts; provided, however, that in those instances where a proposed use not listed below is determined by the Zoning Administrator to be of a similar nature or character as a listed use and such proposed use is also listed in the Standard Industrial Classification (SIC) Manual, published by the Federal Office of Management and Budget, such proposed use may be treated in the same manner as the listed use. Any decision by the Zoning Administrator regarding such a proposed use shall be made in writing.
- B. *Key of symbols used in table.* The symbols in the table below shall have the following meanings:

GBB	Great Bridge Business character district
HB	Historic Battlefield character district
CW	Causeway character district
P	Permitted use
C	Conditional use

- C. *Special conditions pertaining to specific uses.* The following conditions shall apply to specific uses, as indicated in the "condition" column in the uses schedule:
1. Limited to dog grooming, pedigree record services for pets and showing pets only.
 2. An assembly use located in, or that will be located in, a building containing more than one leasable space and required to obtain a conditional use permit shall

submit all the following in addition to the requirements of Article 17 of this ordinance:

- a. A certification from the landlord or the property owner that the on-site parking can accommodate the assembly use and the existing and future co-tenants either by meeting the criteria set out in Section 19-411 or by obtaining approval of a cooperative parking arrangement under Section 19-405. If required off-street parking can only be achieved with the approval of a cooperative parking arrangement, a request for cooperative parking shall be included.
- b. A noise attenuation plan including the landlord or property owner's certification that the building has sufficient noise attenuation qualities to make the assembly use compatible with neighboring units and properties. Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.
- c. A written acknowledgement from the landlord or property owner that required plans must be submitted with an architectural seal that demonstrates compliance with the Virginia Uniform Statewide Building Code, as amended.
- d. A written acknowledgment that a certificate of occupancy must be obtained before the assembly use occupies the space.

Units and spaces in which assembly uses operate shall comply with the Virginia Uniform Statewide Building Code, as amended.

3. See Section 13-600 et seq. of this ordinance for supplemental regulations. Administrative review eligible projects shall only be permitted if the requirements of section 13-602 are satisfied.
4. See Section 13-1700 et seq. for supplemental regulations.
5. See Section 13-2200 et seq. for supplemental regulations.
6. See Section 13-900 et seq. for supplemental regulations.
7. Operated in accordance with chapter 14, article VI (Section 14-271 et seq.) of the City Code.
8. Auction rooms shall not be permitted in the Great Bridge Business Character District.
9. No more than 2,000 square feet of floor area shall be devoted to laundering and finishing processes and no coal-burning or smoke-producing equipment shall be used.
10. See Section 13-1504 et seq. for supplemental regulations.
11. Raising animals for experimental purposes is excluded.
12. See Section 13-500 et seq. for supplemental regulations.
13. No such establishment shall be used for private gain.
14. See Section 13-2100 et seq. for supplemental regulations.

15. A buffer yard "B," as defined in Section 19-610, shall be provided where the home furnishing shop is located in the Great Bridge Business Character district borders properties zoned Assembly or Office and Institutional.
16. Commercial establishments in which a principal or accessory use includes either or both (1) animal obedience training or other instruction and (2) animal grooming, including but not limited to shampooing, haircutting, flea treatment, or nail clipping shall comply with the following requirements set out below:
 - a. All instruction or grooming activities, whether on-site or off-site, shall occur inside an enclosed building or yard that is completely enclosed by a fence or similar barricade.
 - b. Where the site for such activity is located adjacent to property being used for residential purposes, no outdoor instruction activity shall be carried out earlier than 8:00 a.m. or later than 8:00 p.m.
17. Permitted only on municipal (Chesapeake) sites and as permitted in Section 13-602 of this Ordinance.
18. A conditional use permit shall be required for any eating or drinking place selling alcoholic beverages for on-premises consumption that meets one (1) of the following conditions:
 - a. The eating or drinking place is open for business after 12:00 a.m. and any portion of such property containing an eating and drinking place is located within two hundred (200) feet of any lot line of any property zoned or used for residential purposes. Where an eating and drinking place is located in a shopping center, the 200-foot distance shall be measured from the outer walls of the unit or space in which the eating and drinking place is located.
 - b. The eating or drinking place is adjacent to the following:
 - i. Property containing a church in a freestanding building;
 - ii. Property containing a public or private school in a freestanding building;
 - iii. Hospital in a freestanding building, or
 - iv. Daycare center in a freestanding building.
 - c. A conditional use permit shall not be required if one of the following exceptions applies:
 - i. The structure or unit in which the eating and drinking place is located is separated from property containing a church, or property containing a public or private school by a street at least sixty (60) feet in width which is owned and maintained by the city or the Commonwealth.
 - ii. For purposes of subsection b. only, the eating and drinking place is located in a shopping center. For purposes of this section, shopping center shall mean a group of retail or other commercial establishments that functions as a unified commercial development.

19. A conditional use permit shall be required if the parking facility is located adjacent to property zoned or used for residential purposes.
 20. Establishments selling alcoholic beverages shall comply with any and all rules and requirements of the Virginia Alcoholic Beverage Control Board.
 21. Goods may be produced for wholesale sale as an accessory use to retail activities, provided that all conditions set out in Section 14-102.C.3 are met.
 22. Only City-sponsored farmers markets shall be permitted in the Historic Battlefield Character District. See Section 13-1405 of this ordinance for supplemental regulations.
 23. See Section 13-2700 et seq. of this ordinance for supplemental regulations.
- D. *Mixed use dwellings in the Causeway Character District and Great Bridge School Architectural Compatibility Zone.* In addition to the permitted and conditional uses specified in Section 6.3.2 below, a conditional use permit shall be required for residential uses on the upper floor levels of buildings located in the Causeway Character District and the Great Bridge School Architectural Compatibility Zone.

6.3.2 Table of Permitted and Conditional Uses in the Great Bridge Historic Gateway Overlay District

SIC	Use	GBB	HB	CW	Condition*	Parking**
0742	Veterinary Services, Non-livestock Only, except Kennel, Boarding and Outdoor Activities	P		P		11
0752	Animal Services, Except Veterinary and Kennel	P		P	1	26
	Animal training and grooming	P		P	16	26
15	General Contractors, Offices Only, No Outside Storage	P		P		11
16	Heavy Construction Other Than Building Construction—Contractors, Offices Only, No Outside Storage	P		P		11
17	Construction—Special Trade Contractors, Offices Only, No Outside Storage	P		P		11
208	Beverages	P		P	20, 21	30
4121	Taxicab Operations			P		25
4173	Motor Vehicle Terminals			P		16
4215	Courier Services Except By Air	P		P		25
43	United States Postal Service	P		P		24
4493	Marinas		P	P		18
472	Transportation Arrangement	P		P		11
48	Communications, Offices	P		P		11
48	Communications Towers, administrative review-eligible projects	P		P	3	
	Amateur Radio Antenna	P		P		

SIC	Use	GBB	HB	CW	Condition*	Parking**
48	Communications, Towers	C			3	
48	Communications Towers on municipal property	P		P	3, 17	
4911	Accessory Solar Energy System	P			23	
	Unmanned Public Facility Buildings and Related Structures	P		P	4	26
494	Water Supply	P		P		26
521	Lumber and Other Building Materials	C				11
523	Paint, Glass and Wallpaper Stores	P		P		12
525	Hardware Store	P		P		11
526	Retail Nurseries, Lawn and Garden Supply Stores	C		C		11
53	General Merchandise Stores	P		P		11
54	Food Stores	P		P		11
	Grocery Stores	P		P		11
55	Boat Dealers			C		
5431	Farmers Markets	P	P	P	22	28
5460	Retail Bakery	P		P		12
553	Auto Supply Stores	P		P		11
554	Motor Vehicle Fuel Supply	C			7	11
56	Apparel and Accessory Stores	P		P		11
571	Home Furnishings Shops	P		P	15	14
572	Household Appliances	P		P		14

SIC	Use	GBB	HB	CW	Condition*	Parking**
5731	Radio and Television Stores	P		P		11
5734	Computer and Software Stores	P		P		12
5735	Record Stores	P		P		11
5736	Musical Instrument Stores	P		P		12
58	Eating and Drinking Places with Seating	P		P	18	9
58	Eating and Drinking Places Without Seating	P		P	18	10
591	Drugstores	P		P		11
592	Liquor Stores	P		P		10
593	Used Merchandise Store, Except Pawn Shops	P		P		11
5941	Sporting Goods Stores and Bicycle Shops	P		P		12
5942	Bookstores	P		P		12
5943	Stationery Stores	P		P		12
5944	Jewelry Stores	P		P		12
5945	Hobby, Toy and Game Shops	P		P		11
5946	Camera and Photographic Supply Stores	P		P		12
5947	Gift, Novelty and Souvenir Shops	P		P		12
5948	Luggage and Leather Goods Stores	P		P		11
5949	Sewing, Needlework and Piece Goods Stores	P		P		11
5961	Catalog and Mail Order Houses			C		24

SIC	Use	GBB	HB	CW	Condition*	Parking**
5962	Automatic Merchandising Machine Operators	P		P		11
5963	Direct Selling Establishments	P		P		11
5992	Florists	P		P		11
5993	Tobacco Stores and Stands	P		P		11
5994	News Dealers and Stands	P		P		11
5995	Optical Goods Stores	P		P		12
5999	Miscellaneous Retail Stores Not Elsewhere Classified	P		P	8	11
60-67	Finance, Insurance and Real Estate, Except Cemeteries	P		P		11
701	Hotels and Motels			P		6
704	Organization Hotels and Lodginghouses, on Membership Basis			P		6
7211	Power Laundries, Family and Commercial	C		C	9	11
7212	Garment Pressing	P		P	9	11
7215	Coin-Operated Laundries and Dry Cleaning	P		P		11
7219	Custom Dressmakers and Tailors	P		P		12
722	Photographic Studios, Portrait	P		P		12
723	Beauty Shops	P		P		11
724	Barbershops	P		P		11
725	Shoe Repair Shops and Shoeshine Parlors	P		P		11
7291	Tax Return Preparation Service	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7299	Miscellaneous Personal Services Not Elsewhere Classified; Except Tattoo Parlors	C		C		
7311	Advertising Agencies	P		P		11
7313	Radio, Television and Publishers' Advertising Representatives	P		P		11
7319	Advertising Not Elsewhere Classified, Offices Only	P		P		11
732	Consumer Credit Reporting Agencies, Mercantile Reporting Agencies and Adjustment and Collection Agencies	P		P		11
7331	Direct Mail Advertising Services	P		P		11
7334	Photocopying and Duplicating Services	P		P		12
7335	Commercial Photography			P		11
7336	Commercial Art and Graphic Design	P		P		11
7338	Secretarial and Court Reporting Services	P		P		11
7352	Medical Equipment Rental and Leasing	P		P		11
736	Personal Supply Services	P		P		0
737	Computer Programming, Data Processing and Other Related Services	P		P		11
7381	Detective, Guard and Armored Car Services, offices only	P		P		11
7382	Security Systems Services	P		P		11
7383	News Syndicates			P		11
7384	Photofinishing Laboratories	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7389	Business Services, Not Elsewhere Classified	P				11
7521	Parking Facilities	P	P	P	19	
7622	Radio and Television Repair Shops	P		P		12
7629	Electrical and Electronic Repair Shops, Not Elsewhere Classified	P		P		12
763	Watch, Clock and Jewelry Repair	P		P		12
764	Re-upholstery and Furniture Repair	P		P		12
7699	Instrument Repair	P		P		12
7699	Optical Goods Repair	P		P		12
7699	Leather Goods Repair	P		P		12
7699	Lock and Gunsmith Shops	P		P		11
7699	Musical Instrument Repair and Tuning	P		P		12
7699	Bicycle Repair Shop	P		P		12
7699	Antique Repair Shop	P		P		12
7699	Camera Repair Shop	P		P		12
7699	Mirror Repair	P		P		12
7699	Picture Framing	P		P		12
7699	Sharpening and Repairing Knives, Saws and Tools	P		P		12
7699	Taxidermist	C				12
7829	Services Allied to Motion Picture Distribution	P		P		11

SIC	Use	GBB	HB	CW	Condition*	Parking**
7832	Motion Picture Theaters, Except Drive-Ins	C		P		16
7841	Videotape Rental	P		P		11
791	Dance Studios, Schools and Halls, Instructional Only	P		P		11
7929	Bands, Orchestras, Actors and Other Entertainers and Entertainment Groups			C		11
793	Bowling Centers	C		C		21
7991	Physical Fitness Facilities	P		P		11
7993	Coin-Operated Amusement Devices	C		C		11
7999	Indoor Recreation Facilities Not Elsewhere Classified, Except Establishments Offering On-Site Computers for Sweepstakes, Games, Lotteries, or Contests under Virginia Code	C		P		11
7999	Outdoor Recreation Facilities Not Elsewhere Classified	C	P	C	10	17
	Martial Arts Instruction and Studios	P		P		11
801— 804	Offices and Clinics of Doctors and Dentists	P		P		11
806	Medical Care Facility			C		8
807	Medical and Dental Laboratories not considered Medical Care Facilities	P			11	11
809	Miscellaneous Health and Allied Services, Not Elsewhere Classified	P				11
81	Legal Services	P		P		11
821	Elementary and Secondary Schools	P		P	5	23

SIC	Use	GBB	HB	CW	Condition*	Parking**
823	Libraries	P	P	P	5	16
824	Vocational Schools, Except Auto Repair Schools, and Truck and Driving Schools	P		P		23
829	Schools and Educational Services, Not Elsewhere Classified	P		P		23
832	Individual and Family Social Services	P		P		11
833	Job Training and Vocational Rehabilitation Services	P		P		11
835	Child Day Care Services	C		C	12	22
839	Social Services, Not Elsewhere Classified	C		C		11
	Public Housing Support Services	P		P	14	13
841	Museums and Art Galleries	P	P	P		14
842	Arboreta and Botanical Gardens	P	P	P		17
861	Business Associations	P		P	13, 2	15
862	Professional Membership Organizations	P		P	13, 2	15
863	Labor Unions and Similar Labor Organizations	P		P	13, 2	15
864	Civic, Social, and Fraternal Associations	C		C	13, 2	15
865	Political Organizations	P		P	13, 2	15
866	Religious Organizations, Except Convents, Monasteries, and Schools	C		C	13, 2	15
	Churches	C		C	13, 2	27
869	Membership Organizations, Not Elsewhere Classified	P		C	2	15

SIC	Use	GBB	HB	CW	Condition*	Parking**
	Meeting and Banquet Halls	C	C	C		15
871	Engineering, Architectural and Surveying Services	P		P		11
872	Accounting, Auditing and Bookkeeping Services	P		P		11
874	Management and Public Relations Services, Offices Only, Not Including Correctional Facilities	P		P		11
89	Services Not Elsewhere Classified			P		11
913	Executive, Legislative and General Government, Except Finance	P		P	5	11
92	Justice, Public Order and Safety, Except Correctional Institutions	P		P	5	11
93	Public Finance, Taxation and Monetary Policy	P			5	11
94	Administration of Human Resource Programs	P			5	11
95	Administration of Environmental Quality and Housing Programs, Offices Only	P			5	11
96	Administration of Economic Programs, Offices Only	P			5	11
	Municipal Buildings and Structures	P	P	P	5	24

*See Section 6.3.1.C above

**See Section 19-411 of the Chesapeake Zoning Ordinance

7. Implementation

The Great Bridge Historic Gateway Overlay District shall be administered through the Planning Department of the City of Chesapeake. Amendments or supplemental information may be prepared by the Planning Department to further assist owners,

developers, builders, and designers with the review process. Prior to initiating any design, the Planning Department should be consulted to obtain any additional information or revisions that may be applicable to the design process.

Planning staff will work with developers to review design ideas before engineering drawings are developed. The developer should be encouraged to meet with Planning Department staff before any ideas have been hard-engineered on paper. It should be expected that generalized sketches of multiple alternatives will be evaluated in the field prior to any formal submissions. Pre-submittal conversations encourage open and early communication, creativity and innovation to allow the City to achieve its preservation, environmental, economic, and aesthetic goals.

While the adopted Great Bridge Village Design Guidelines is the primary tool for guiding the design of development in the overlay district, other regulations must be addressed during the design process. All applicable local, state, and national codes and regulations must be met. In the event of conflicting provisions of the above codes and regulations and any standard set by the Guidelines, the more restrictive provision should apply.

Submission requirements and review process are as follow:

1. Three (3) copies of the following shall be submitted to the Planning Department:
 - a. A letter indicating the location of the project, name of the project, and name and phone number of the contact person;
 - b. Preliminary Site plan prepared by a certified engineer;
 - c. Building plans, including floor plans and all exterior elevations;
 - d. Proposed signs
 - e. Color scheme, including all exterior building materials and description of all colors in layman's terms. Color samples may be required;
 - f. Landscape plan prepared by a certified landscape architect, an individual with a two or four year degree in ornamental horticulture, a member of the Virginia Society of Landscape Designers, or a certified Virginia Nurseryman.
 - g. Photographs of the site, building and/or surrounding properties.
 - h. Any other information that would assist the Committee in evaluating the application.
2. The deadline for submittal is Friday at 5:00 pm.

3. A design review committee consisting of staff from the Planning Department, Development and Permits – Zoning, and Development and Permits – Engineering will review the application for consistency with the overlay district requirements and design guidelines. The City will make every effort to review the plans within a two-week timeframe. If the plans are reviewed and approved prior to this time, the Planning Department will notify the contact person that the approved plans are available for pick up.
4. Architectural plan approval shall take place prior to the submittal of final construction plans to the Department of Development and Permits. If a preliminary plan is required, architectural approval during review of the preliminary plan is encouraged.
5. The approved copy of the plans shall be presented to the Department of Development and Permits-Permit Processing, with the building plans.

Appeals: A decision of the Planning Department may be appealed to the Planning Commission as a preliminary site plan application.

No building permit shall be issued for any principal structure subject to the establishing ordinance for the Great Bridge Historic Gateway Overlay District until the Planning Director or designee determines that the principal structure complies with the development standards, architecture, color and other building design standards applicable to the District as set forth in the ordinance. No building permit issued for such work shall be valid until the work has been approved by the Planning Director or designee as being fully compliant with the District requirements. Any person proposing work that, while not requiring a site plan, is subject to review and approval by the Planning Director shall provide to the Planning Director all information which the Director may require regarding the development standards, architecture, color and other characteristics of the buildings on the site.

The regular exterior maintenance of a building, structure, or sign within the District shall not require review and approval by the Planning Director. However, exterior painting shall conform to the color palette entitled “Benjamin Moore Historical Collection,” in order to promote the development of an integrated and compatible appearance among the buildings located in the District. Any exterior paint color that does not comply with the referenced color palette shall be subject to review and approval of the Planning Director or designee prior to painting. Bright, trademark colors that do not conform to the referenced color palette are permitted as an accent color only for exterior painting. The accent color must be low reflectance and may not cover more than twenty percent (20%) of the façade of the building as determined by the Planning Director or designee.