

1519 Rodgers Street

Chesapeake VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1519 Rodgers ST

2. Year Structure Built (or write "new construction"): _____

3. Applicant(s): MARTHA Centurion

Address: 718 Reservoir AV. #3

City: NORFOLK State: VA Zip: 23504

Daytime Phone: 757 297 9471 FAX Number: _____

E-mail address: Martha3-di@hotmail.com

4. Owner: (If different from applicant)

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

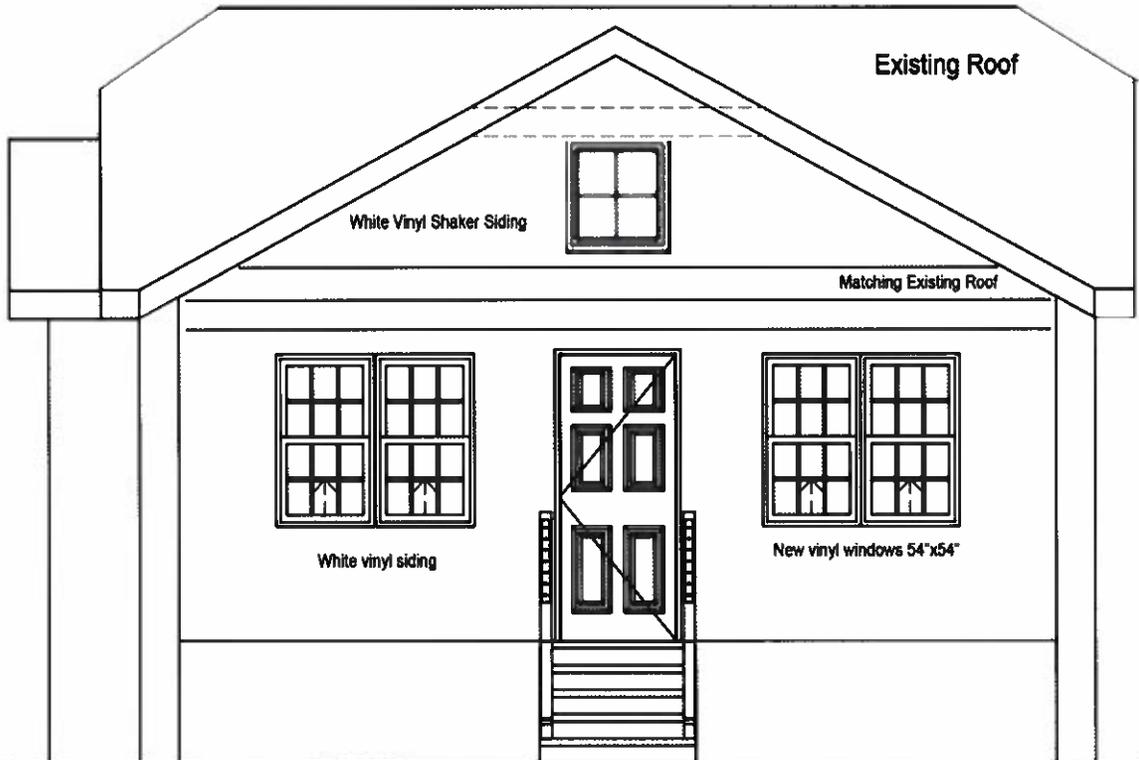
Signature of Applicant/Agent & Date:  _____

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

1519 Rodgers St, Chesapeake
VA 23324

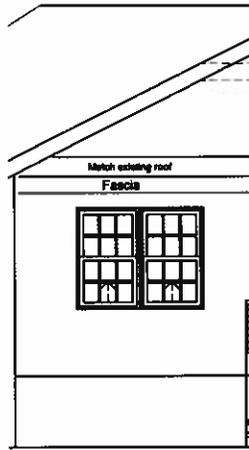


Facade Restoration



ROOF

We will keep the same existing roof but we will replace the front overhang to match the existing roof. Front overhang would be 12" as standard in current residential construction. Awning would be removed.



Roof peak would be changed to match the properties around the neighborhood. Please see pictures as examples.



FASCIA & MOULDINGS

All fascias would be vinyl wrapped as properties around the neighborhood. Casing around windows and doors would match style as 1525 Rodgers St. Please see the picture as an example.



WINDOWS

New American Craftsman vinyl windows would be installed 54" x 54" with No grill pattern to match the rest of the house. Please see the picture as a reference and front elevation design of where windows would be located.

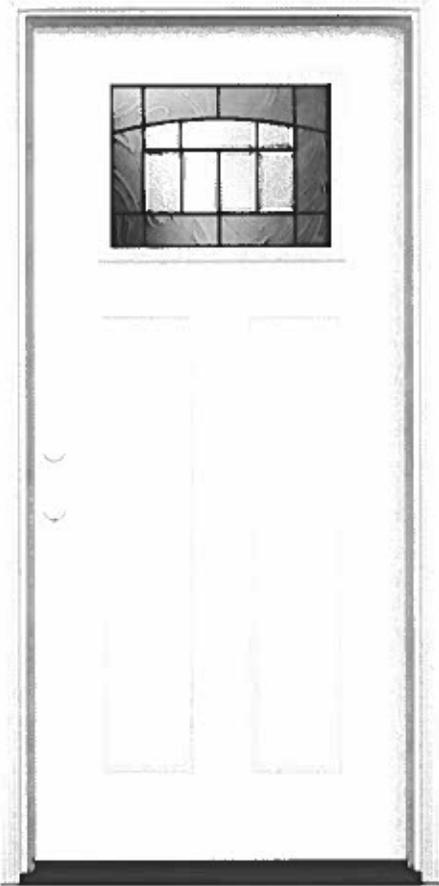


The two windows on the side of the house would be eliminated, close to the front. The windows are broken and in really bad shape. The wall will be enclosed matching the same style next door.



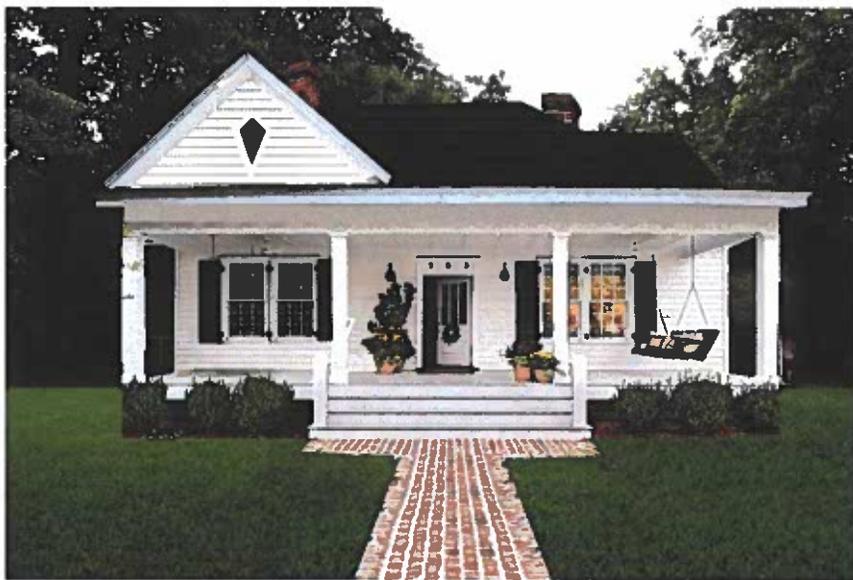
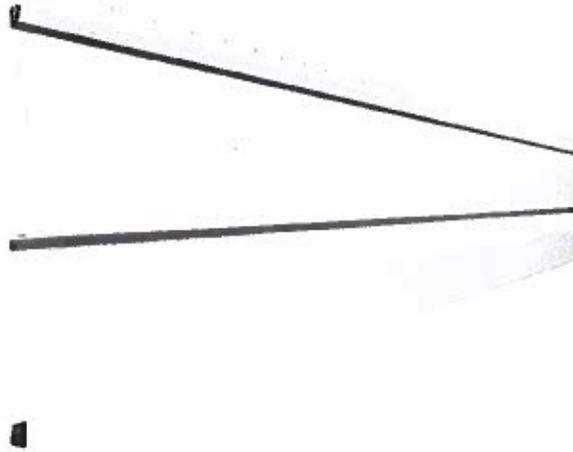
DOOR

New front steel prehung door Croxley Mini lite right hand inswing to be painted Yorktowne green from the Benjamin Historical collection. Please see picture of door that would be installed.

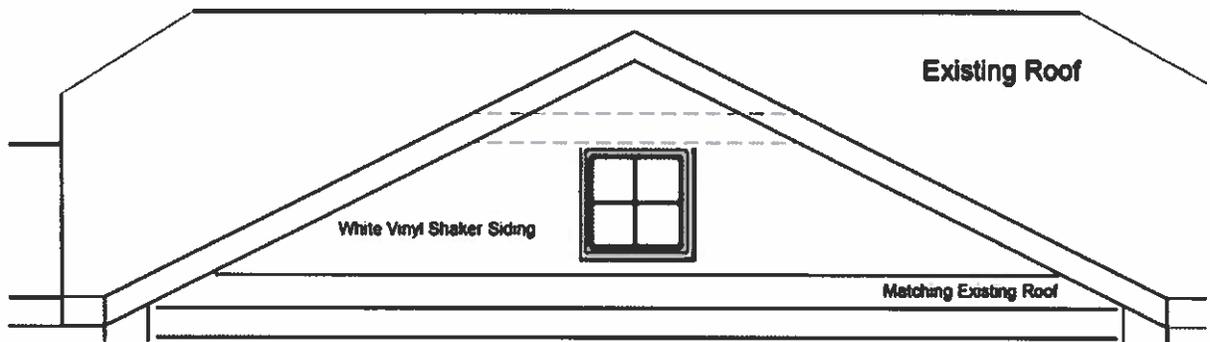


Exterior Siding

New vinyl white siding throughout the entire house, matching to what's already installed. Double 4.5 in x 145 in. White vinyl Dutch lap siding.

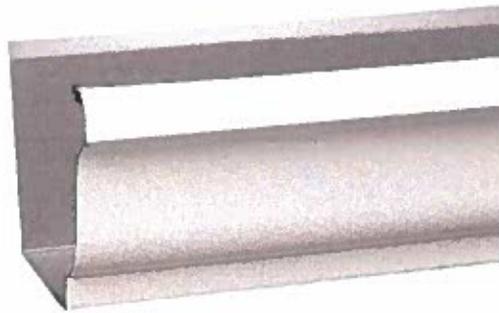


The upper side of the front of the house would have the same color vinyl siding, but cedar shaker style to give the front a little bit more contrast and a more appealing design. Some properties around the neighborhood have the same concept and it looks great.



Gutters

New 5 in. K-Style white Aluminum Gutter installed throughout the entire house, matching neighbors around the house.



Handrail

New black aluminum railing would be installed in the front. Replacing existing damaged railing.







1416 Rodgers Street



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#) Record Status: [Open](#) File Date: [May 22, 2020](#)
 Record Number: [PLN-CAPP-2020-065](#) Expiration Date:
 Description: Record Name: [1416 Rodgers St.](#)
[certificate of appropriateness for concrete sidewalk back yard 10 feet long by three feet wide coming off the back porch.](#) Parent Record Number:
[front yard : 15 feet long 5 feet wide concrete sidewalk coming off front porch](#)

Address: [1416 Rodgers ST](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	1416RodgersStHB LLC	400 E Indian River Rd, Norfolk, VA 23523	(757) 545-2414

Parcel Information

Parcel No:
[1330000006270](#)

Contact Information

Name	Organization Name	Contact Type	Phone
Wanda Drees Address 400 E Indian River Rd, Norfolk, VA 23523		Applicant	(757) 545-2414

Application Specific Information

NATURE OF THE APPLICATION

Description	certificate of appropriate
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-
Approved Administratively	-
Approving Planner	-
Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-

Board Approved Certificate Number -

I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application. -

Structure Designation -

GENERAL INFORMATION

Year Structure Built 1913

Is this an After-the-Fact application? Yes

\$250 After the Fact fee, if required. UNCHECKED

One original delivered to the Planning Department OR a copy attached to the on-line application CHECKED

One disk containing all photos OR photos attached to on-line application UNCHECKED

Completed and notarized power of attorney form if the applicant is not the property owner. CHECKED

NEW CONSTRUCTION

Completed application form. UNCHECKED

Surveyed site plan (including proposed buildings, structure(s), parking, etc.). UNCHECKED

Front and side elevations UNCHECKED

Samples UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Photographs of the property and adjoining or opposite properties. UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form. UNCHECKED

Surveyed site plan or city tax map UNCHECKED

Elevations UNCHECKED

Photographs of the existing structure and property. UNCHECKED

Samples, photos, and brochures UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Proposed signs with appropriate detail as to character and location. UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form. CHECKED

Written description of work to be performed CHECKED

Photographs of the building/structure. CHECKED

2 quotes each are required for the following: UNCHECKED

Photos numerically keyed UNCHECKED

RELOCATIONS

Completed application form UNCHECKED

- | | |
|--|-----------|
| <input type="checkbox"/> Photographs of the building or structure to be relocated and adjacent properties. | UNCHECKED |
| <input type="checkbox"/> Photographs of the premises to which the building or structure will be relocated. | UNCHECKED |
| <input type="checkbox"/> Written description of reasons for the relocation and the proposed use of the vacated property. | UNCHECKED |
-

DEMOLITIONS

- | | |
|--|-----------|
| Completed application form | UNCHECKED |
| <input type="checkbox"/> Photographs of the building or structure to be demolished to illustrate its state of disrepair. | UNCHECKED |
| Written report on condition of building or structure. | UNCHECKED |
| Written description of work to be performed | UNCHECKED |
-

METAL ROOFS

- | | |
|-------------|-----------|
| Explanation | UNCHECKED |
|-------------|-----------|
-

SPECIAL POWER OF ATTORNEY

- | | |
|------------------------------------|---------|
| Special Power of Attorney attached | CHECKED |
|------------------------------------|---------|
-

METAL ROOFS

- | | |
|--|-----------|
| Info required to replace metal roof with metal roof. | UNCHECKED |
| Picture | UNCHECKED |
| Specification Sheet | UNCHECKED |
| Roof color sample | UNCHECKED |
| Info required to replace metal roof with architectural shingles. | UNCHECKED |
| Quotes | UNCHECKED |
| Roof color sample (asphalt) | UNCHECKED |
-



1421 Chesapeake Avenue



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#) Record Status: [Open](#) File Date: [May 31, 2020](#)
 Record Number: [PLN-CAPP-2020-066](#) Expiration Date:
 Description: [exterior improvement](#) Record Name: [1421 chesapeake Ave](#)
 Parent Record Number:

Address: [1421 CHESAPEAKE AVE, CHESAPEAKE, VA 23324](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	mozart investment llc	2133-126 upton dr, virginia beach, VA 23454	(757) 284-0699

Parcel Information

Parcel No:
[1340000002440](#)

Contact Information

Name	Organization Name	Contact Type	Phone
greg harrison Address 1603 hawthorne dr, chesapeake, VA 23324	mozart investment	Applicant	(757) 284-0699

Application Specific Information

NATURE OF THE APPLICATION

Description	replacing siding , wrap windows with white pvc/metal , replace existing broken vinyl windows
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-
Approved Administratively	-
Approving Planner	-
Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-
Board Approved Certificate Number	-

I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application.

Structure Designation -

GENERAL INFORMATION

Year Structure Built 1915

Is this an After-the-Fact application? No

\$250 After the Fact fee, if required. UNCHECKED

One original delivered to the Planning Department OR a copy attached to the on-line application UNCHECKED

One disk containing all photos OR photos attached to on-line application UNCHECKED

Completed and notarized power of attorney form if the applicant is not the property owner. UNCHECKED

NEW CONSTRUCTION

Completed application form. UNCHECKED

Surveyed site plan (including proposed buildings, structure(s), parking, etc.). UNCHECKED

Front and side elevations UNCHECKED

Samples UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Photographs of the property and adjoining or opposite properties. UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form. UNCHECKED

Surveyed site plan or city tax map UNCHECKED

Elevations UNCHECKED

Photographs of the existing structure and property. UNCHECKED

Samples, photos, and brochures UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Proposed signs with appropriate detail as to character and location. UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form. CHECKED

Written description of work to be performed CHECKED

Photographs of the building/structure. UNCHECKED

2 quotes each are required for the following: UNCHECKED

Photos numerically keyed UNCHECKED

RELOCATIONS

Completed application form UNCHECKED

Photographs of the building or structure to be relocated UNCHECKED

and adjacent properties.

- Photographs of the premises to which the building or structure will be relocated. UNCHECKED
 - Written description of reasons for the relocation and the proposed use of the vacated property. UNCHECKED
-

DEMOLITIONS

- Completed application form UNCHECKED
 - Photographs of the building or structure to be demolished to illustrate its state of disrepair. UNCHECKED
 - Written report on condition of building or structure. UNCHECKED
 - Written description of work to be performed UNCHECKED
-

METAL ROOFS

- Explanation UNCHECKED
-

SPECIAL POWER OF ATTORNEY

- Special Power of Attorney attached UNCHECKED
-

METAL ROOFS

- Info required to replace metal roof with metal roof. UNCHECKED
 - Picture UNCHECKED
 - Specification Sheet UNCHECKED
 - Roof color sample UNCHECKED
 - Info required to replace metal roof with architectural shingles. UNCHECKED
 - Quotes UNCHECKED
 - Roof color sample (asphalt) UNCHECKED
-



Google

Image capture: Apr 2019 © 2020 Google







AAA General Contractor INC
557 S BIRDNECK ROAD
Virginia Beach, VA 23454
757-918-3544

INVOICE

Mozart Investment
1421 chesapeake ave
Chesapeake ,VA

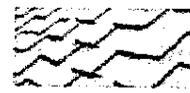
Invoice # 89233
Invoice Date 06/17/2020
Due Date 06/18/2020

Item	Description	Unit Price	Quantity	Amount
	install 27 square of siding ,vinyl white wrap , and replace 4 windows.	1.00	14025.00	14,025.00
<u>NOTES:</u> we sincerely appreciate your business!!				
		Subtotal		14,025.00
		Total		14,025.00
		Amount Paid		0.00
		Balance Due		\$14,025.00

ACCURATE



SIDING & WINDOWS
VA Lic# 2705118700B Expires 10/21
NEW SIDE OVER



Date 6/22/2020

Homeowner Mozart

**Location 1421 Chesapeake Avenue
Chesapeake Va.**

Siding estimate: 35.7 Vinyl Siding
40 mil \$15,172.00 46mil \$17,136.00
42 mil \$16,065.00 44mil Insulated\$ 22,491.00

Trim Package \$8,595.00
Doors, Windows, Fascia Soffit

Gutters & Downspouts \$ _____

Extras _____

6 Columns @ \$150.00 Ea = \$900.00
2 Windows @ \$300.00 Ea = \$600.00

Please contact me if you have any questions.
LouisDagosta

1121 Rodgers Street



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#) Record Status: [Open](#) File Date: [June 3, 2020](#)
 Record Number: [PLN-CAPP-2020-068](#) Expiration Date:
 Description: Record Name: [1121 Rodgers](#)
[Relocating and installing new windows](#) Parent Record Number:
[Changing color of vinyl](#)
[Painting foundation brick](#)
[New location of front door](#)

Address: [1121 RODGERS ST, CHESAPEAKE, VA 23324](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	CAB Homes Inc	3537 Ballahack Road, chesapeake, VA 23322	(757) 560-6561

Parcel Information

Parcel No:
[1270000004810](#)

Contact Information

Name	Organization Name	Contact Type	Phone
Andy Brock Address 3537 Ballahack Road, chesapeake, VA 23322	CAB Homes Inc.	Applicant	(757) 560-6561
Andy Brock Address 3537 Ballahack Road, chesapeake, VA 23322	CAB Homes Inc.	Designer	(757) 560-6561

Application Specific Information

NATURE OF THE APPLICATION

Description	Relocating and installing new windows Changing color of vinyl Painting foundation brick New location of front door
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-

Approved Administratively	-
Approving Planner	-
Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-
Board Approved Certificate Number	-
I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application.	-
Structure Designation	-

GENERAL INFORMATION

Year Structure Built	1914
Is this an After-the-Fact application?	No
\$250 After the Fact fee, if required.	CHECKED
One original delivered to the Planning Department OR a copy attached to the on-line application	CHECKED
One disk containing all photos OR photos attached to on-line application	CHECKED
<input type="checkbox"/> Completed and notarized power of attorney form if the applicant is not the property owner.	UNCHECKED

NEW CONSTRUCTION

Completed application form.	UNCHECKED
<input type="checkbox"/> Surveyed site plan (including proposed buildings, structure(s), parking, etc.).	UNCHECKED
Front and side elevations	UNCHECKED
Samples	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
Photographs of the property and adjoining or opposite properties.	UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form.	UNCHECKED
Surveyed site plan or city tax map	UNCHECKED
Elevations	UNCHECKED
Photographs of the existing structure and property.	UNCHECKED
Samples, photos, and brochures	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
<input type="checkbox"/> Proposed signs with appropriate detail as to character and location.	UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form.	CHECKED
Written description of work to be performed	CHECKED
Photographs of the building/structure.	CHECKED

2 quotes each are required for the following: CHECKED
Photos numerically keyed UNCHECKED

RELOCATIONS

Completed application form UNCHECKED
 Photographs of the building or structure to be relocated and adjacent properties. UNCHECKED
 Photographs of the premises to which the building or structure will be relocated. UNCHECKED
 Written description of reasons for the relocation and the proposed use of the vacated property. UNCHECKED

DEMOLITIONS

Completed application form UNCHECKED
 Photographs of the building or structure to be demolished to illustrate its state of disrepair. UNCHECKED
Written report on condition of building or structure. UNCHECKED
Written description of work to be performed UNCHECKED

METAL ROOFS

Explanation UNCHECKED

SPECIAL POWER OF ATTORNEY

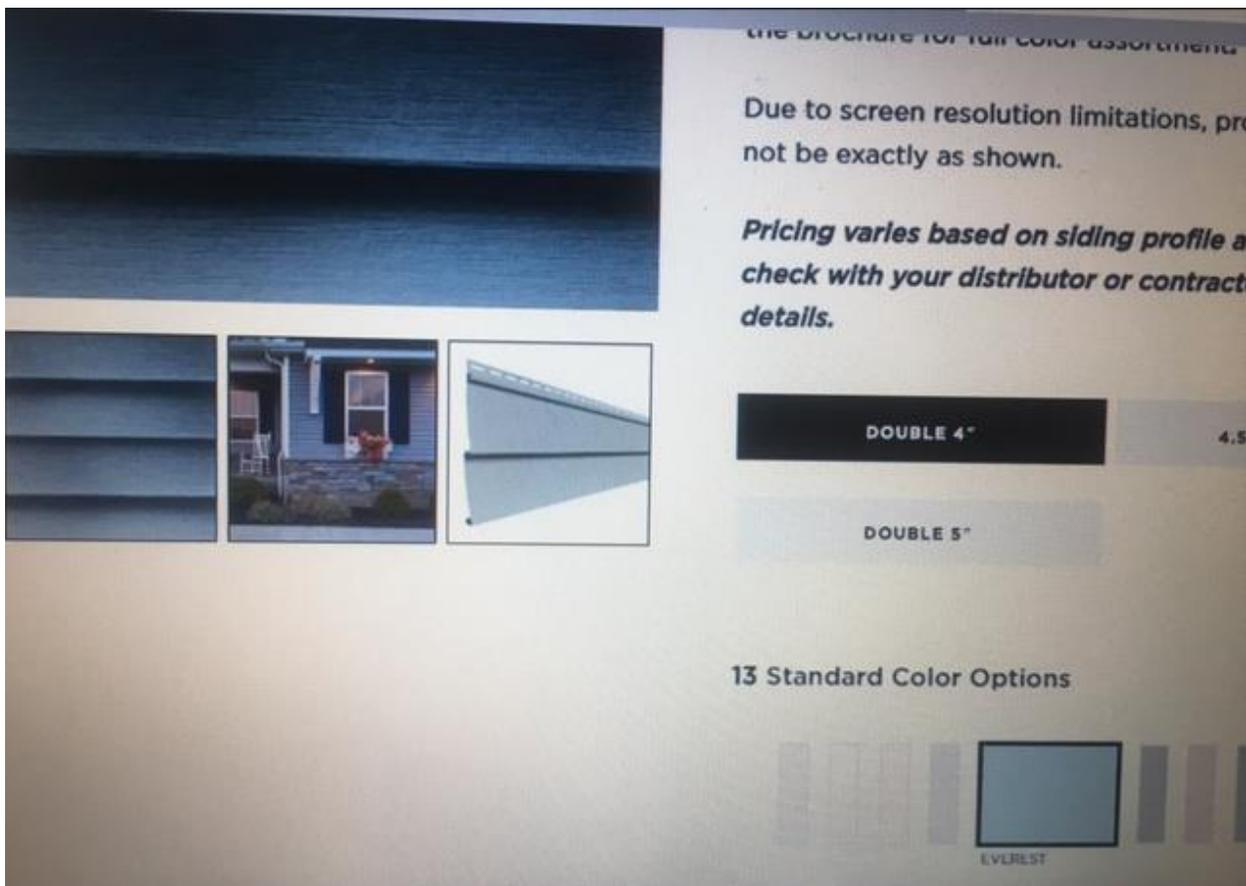
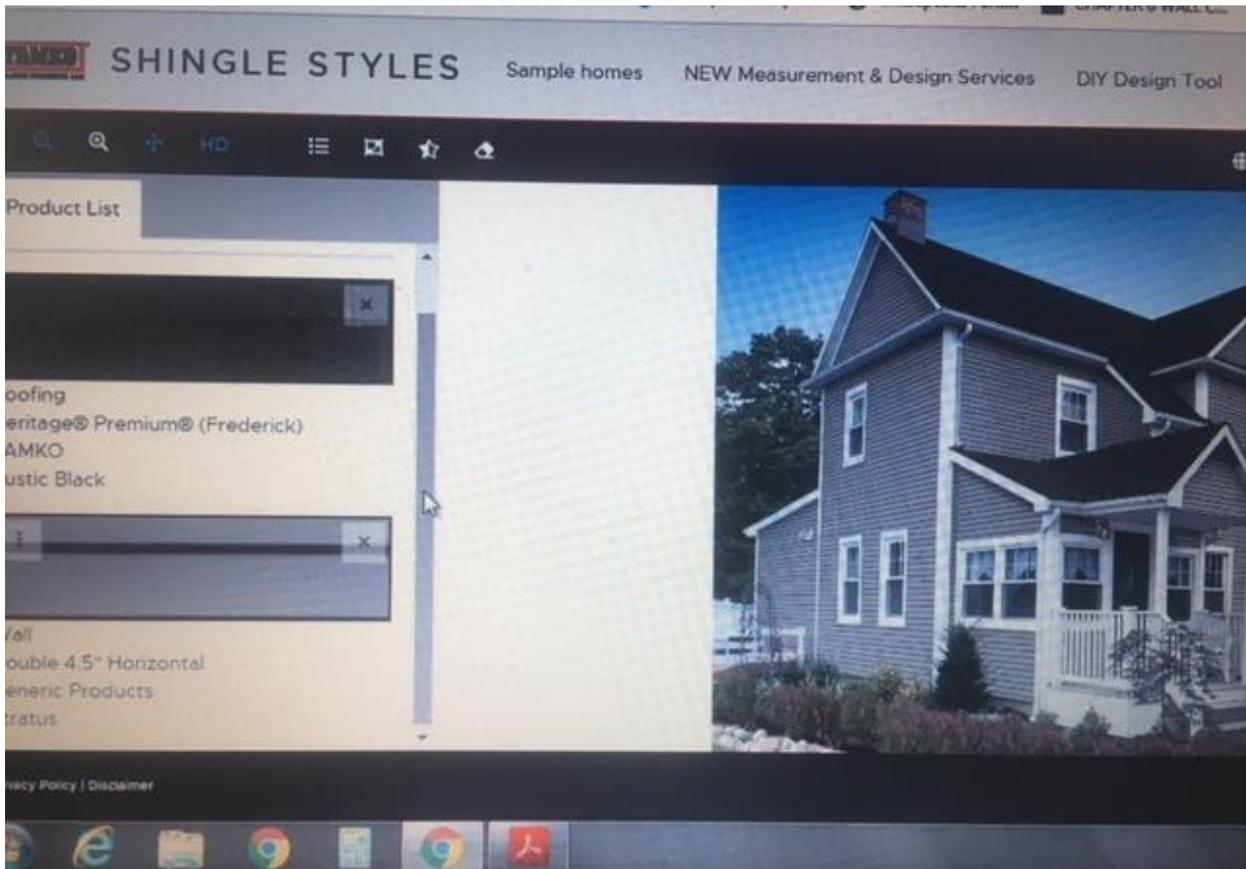
Special Power of Attorney attached UNCHECKED

METAL ROOFS

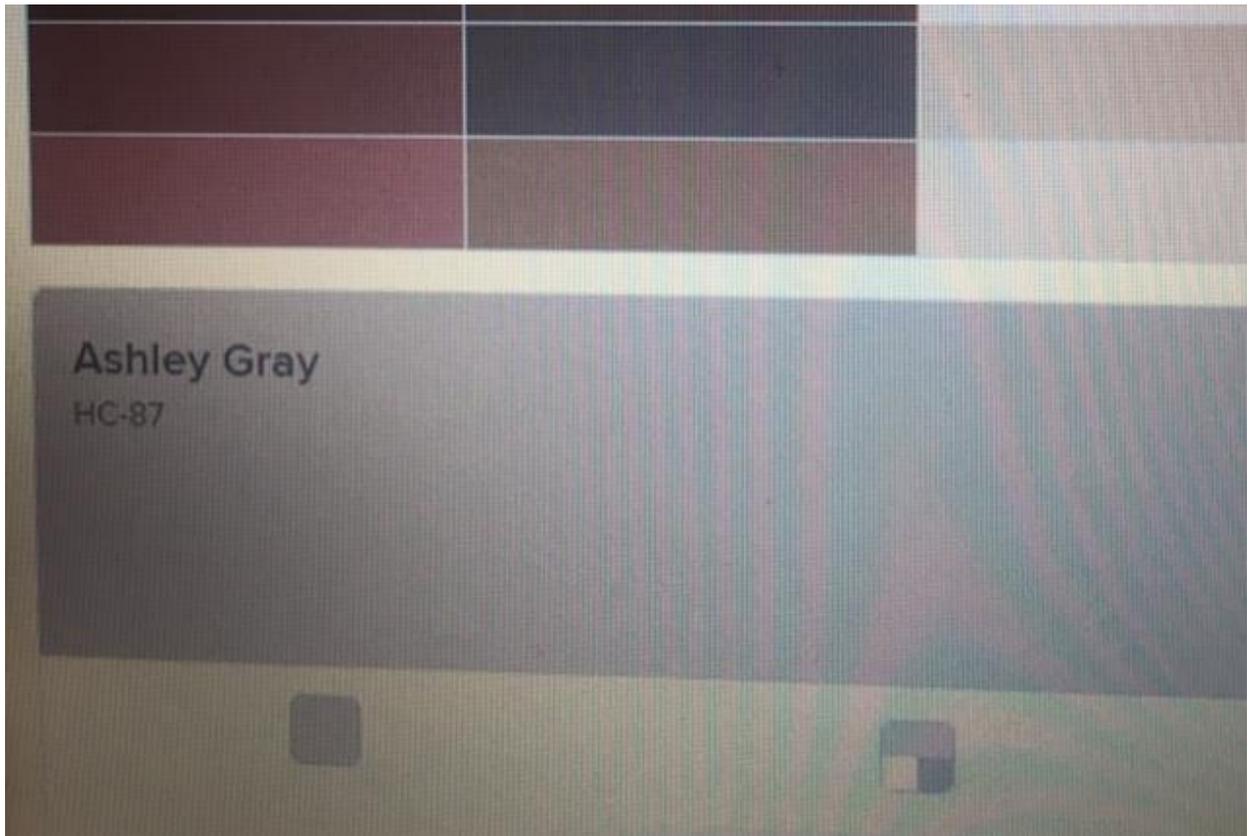
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Picture UNCHECKED
Specification Sheet UNCHECKED
Roof color sample UNCHECKED
Info required to replace metal roof with architectural shingles. UNCHECKED
Quotes UNCHECKED
Roof color sample (asphalt) UNCHECKED











FOUNDATION NOTES

1. PRIOR TO CONSTRUCTION ALL ORGANIC MATERIAL, TOPSOIL AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AREA.
2. ALL FOOTINGS, INCLUDING SLAB ON GRADE, SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
3. ALL FOUNDATION CONCRETE FOR FOOTINGS AND INTERIOR SLABS SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM 12" BELOW FINISH GRADE.
5. PIER FOOTING THICKNESS SHALL BE ONE-HALF (MINIMUM) THE WIDTH OF THE FOOTING.

BUILDING CLASSIFICATION

USE GROUP: R-5 RESIDENTIAL
 TYPE CONSTRUCTION: 5-B
 CODE & EDITION EMPLOYED: THE INTERNATIONAL RESIDENTIAL CODE 2015

BUILDING AREA

Before remodel 2,129 SQ. FT.
 After remodel 2,062 SQ. FT.

Minimum glazing U-factor fenestration .35 or better

BUILDING DESIGN LOADS

LIVING AREAS: 40 PSF (LIVE) 10 PSF (DEAD)
 SLEEPING AREAS: 30 PSF (LIVE) 10 PSF (DEAD)
 CEILING JOIST: 20 PSF (LIVE) 10 PSF (DEAD)
 ROOF AREAS: 20 PSF (LIVE) 10 PSF
 WIND LOAD: 110 PSF EXP. B

TABLE OF CONTENTS

Lot shall be graded to drain surface water away from foundation wall. The grade shall fall a minimum of 6 inches within the first 10 feet perimeter surrounding the structure. If perimeter is less than 10 feet, drains or swales shall be constructed and shall not negatively affect adjacent property. Drainage shall comply with the PFM, approved site plan and subdivision drainage plan.

Draftstopping: Where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane below, draftstopping shall be provided.

Fireblocking: Fireblocking shall be provided to cut-off all concealed draft openings (both vertical and horizontal) and form an effective fire barrier between stories

Wind Loads are to be 120 Vult and 93 Vasd mph per ASCE 7

BUILDING CLASSIFICATION

1. ALL APPLICABLE CONSTRUCTION SHALL CONFORM TO THE I.R.C. (INTERNATIONAL RESIDENTIAL BUILDING CODE) 2015, AND U.S.B.C. (THE VIRGINIA UNIFORM STATEWIDE CODE) 2015.
2. CODES GOVERN OVER DRAWING PLANS, VERIFY ALL LOCAL CODES AND SPECIFICATIONS.
3. BUILDING PERMITS SHALL BE PROMPTLY AND CONSPICUOUSLY POSTED AT THE BUILDING SITE AT ALL TIMES DURING CONSTRUCTION.
4. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL BELOW LOCAL FROST LINES AS PER ALL LOCAL BUILDING CODES.
5. ALL CONCRETE SHALL BE A MIN. OF 3,000 PSI FOR INTERIOR SLABS AND FOOTINGS, AND 3,000 PSI FOR DRIVEWAYS, EXTERIOR AND GARAGE SLABS
6. ALL LUMBER USED SHALL BE SOUTHERN YELLOW PINE MIN. NO. 2 STRUCTURAL GRADE; ALL WOOD TRUSSES, T.J.I.'S & ENGINEERED LUMBER SHALL BE CERTIFIED BY THE MANUFACTURER. TRUSSES AND FRAMING MEMBERS SHALL HAVE A CAPACITY TO SUPPORT LIVE AND DEAD LOADS AS SPECIFIED BY ALL APPLICABLE CODES, AND/OR AS FOLLOWS:

DESIGN LOADS LIVE LOADS DEAD LOADS

LIVING AREAS 40 PSF 10 PSF
 SLEEPING AREAS 30 PSF 10 PSF
 CEILING JOIST 20 PSF 7 PSF
 ROOF AREAS 20 PSF

7. CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH METHOD 3 OF THE SECTION R-602.10.3 FOR BRACED WALLS & IN ACCORDANCE WITH SECTION R-602.10.5 & TABLE R-602.10.5 OF THE I.R.C. 2015.

8. ALL HEATING, VENTILATING AND AIR CONDITIONING AND/OR ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES AND SHALL CONFIRM TO STANDARD TRADE PRACTICES. REQUIRED BUILDING PERMITS SHALL BE OBTAINED AND PAID FOR BY THE RESPECTIVE TRADES.

9. ELECTRICAL AND PLUMBING SHALL BE ROUGHED-IN BEFORE THE FRAMING INSPECTION IS MADE.

10. ALL POTABLE WATER OUTLETS SHALL BE PROTECTED FROM CROSS CONNECTIONS.

11. ALL INTERIOR ROOM FINISHES INCLUDING WALL AND CEILING COVERINGS FOR THE ROOMS OR ENCLOSED SPACES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS SINGLE AND MULTIPLE SMOKE DETECTORS (S.D) SHALL BE INSTALLED IN THE DWELLING IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY.

12. THE SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE I.R.C. 2015 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF N.F.P.A. 72.

13. PROVIDE A SOLID/20 MIN. FIRE RATED DOOR BETWEEN THE GARAGE AND THE RESIDENCE. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED

14. HABITABLE ROOMS ABOVE BY NOT LESS 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT. ALL REQUIRED EMERGENCY EGRESS WINDOWS ARE TO COMPLY WITH SECTION 310 OF THE I.R.C. 2015. THESE WINDOW UNITS ARE TO MEET OR EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENING AREA OF 5.7 SQ. FT. (5.0 SQ. FT. FOR GRADE LEVEL WINDOW UNITS), CLEAR OPENING WIDTH OF 20", CLEAR OPENING HEIGHT OF 24", AND HAVE A SILL HEIGHT OF NOT MORE

15. 44" ABOVE FINISHED FLOOR. THE CONTRACTOR MUST VERIFY THAT THE SELECTED WINDOW UNITS FOR BEDROOMS MEET THE EGRESS MINIMUMS FOR THE WIDTH AND OPENING SIZE. UNIT SIZES SHOWN ON THE PLANS MAY NOT MEET THE EGRESS REQUIREMENTS FOR ALL WINDOW MANUFACTURES. SAFETY GLAZING SHALL BE INSTALLED IN ALL HAZARDOUS LOCATIONS AS DEFINED BY SECTION R-308.4 OF THE I.R.C. 2015, INCLUDING NUT NOT LIMITED TO ALL GLAZING NINE (9) SQ. FT. OR LARGER, WITHIN 18" OF A FLOOR, WITHIN 24" OF A DOOR, IN WALLS ENCLOSING A STAIRWAY LANDING OR WITHIN 60" OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE, AND ANY GLAZING WITHIN 60" OF A BATHING TUB.

16. PROVIDE EXHAUST FANS, VENTED DIRECTLY TO THE OUTSIDE, IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS WITHOUT THE MINIMUM REQUIRED OPERABLE WINDOWS.

Builder: CAB Homes Inc

Drawn by: Andy Brock
 3537 Ballhack Road
 Chesapeake, VA
 757-560-6561
 Class A Builder

Date: May 2020

Project: 1121 Rodgers Street
 Chesapeake VA 23324

Drawings: TITLE

Sheet T1.1

Builder:
CAB Homes Inc

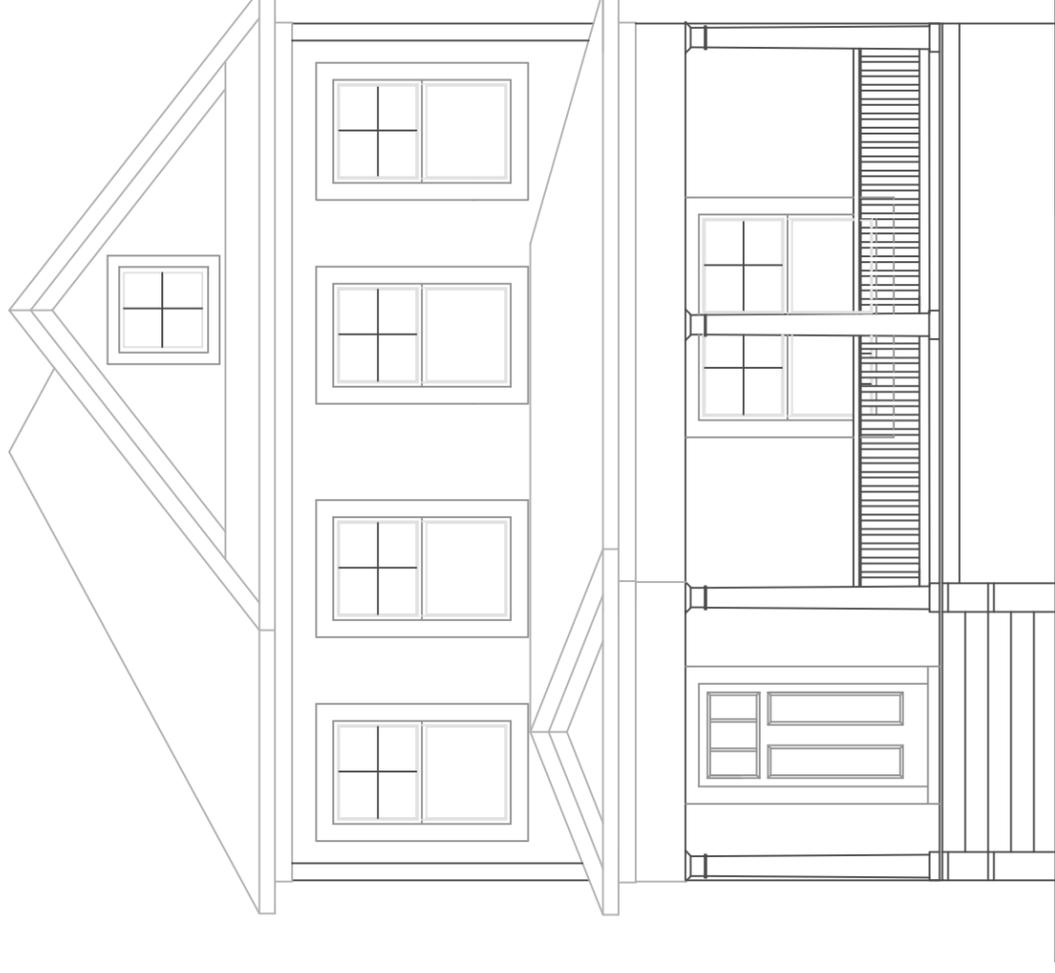
Drawn by: Andy Brock
3537 Ballahack Road
Chesapeake, VA
757-560-6561
Class A Builder

Date:
May 2020

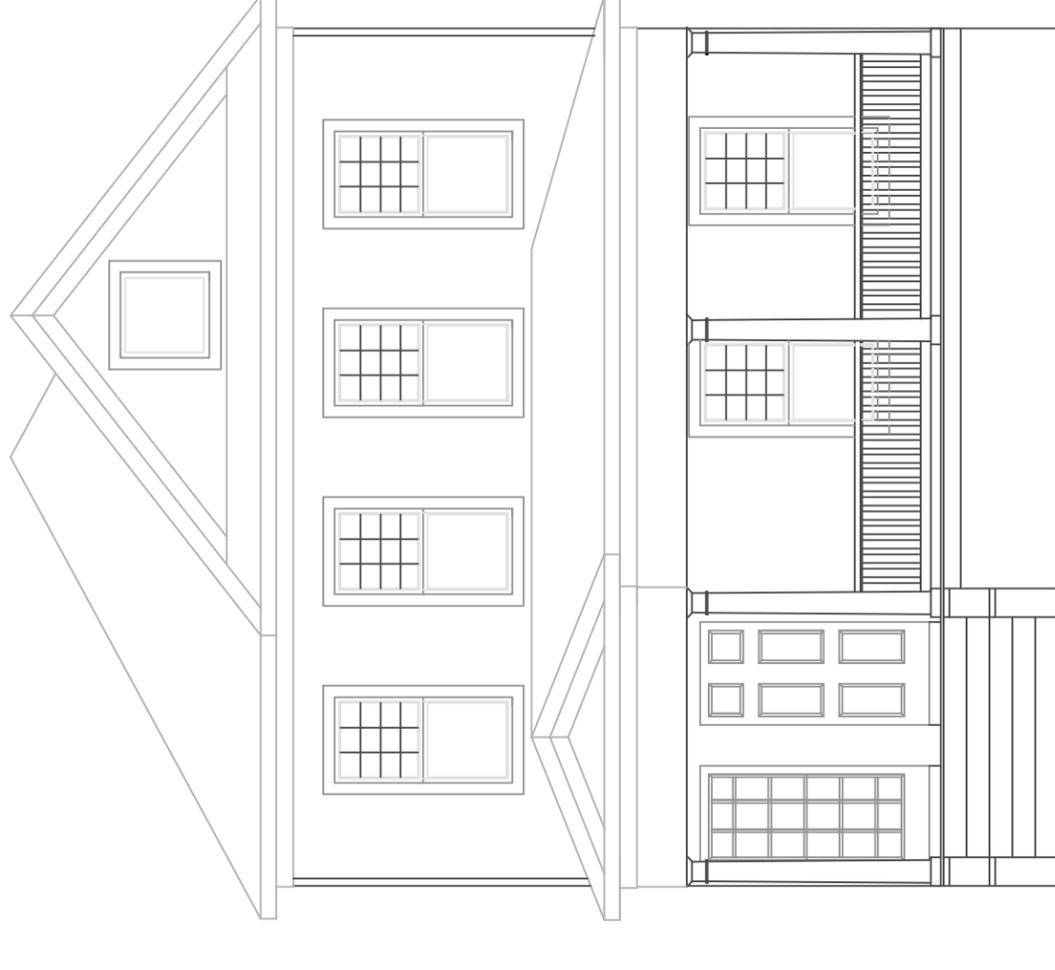
Project:
1121 Rodgers Street
Chesapeake VA 23324

Drawings:
ELEV

Sheet
A3.1



2
A-2
PROPOSED FRONT ELEVATION
3/16" = 1'-0"

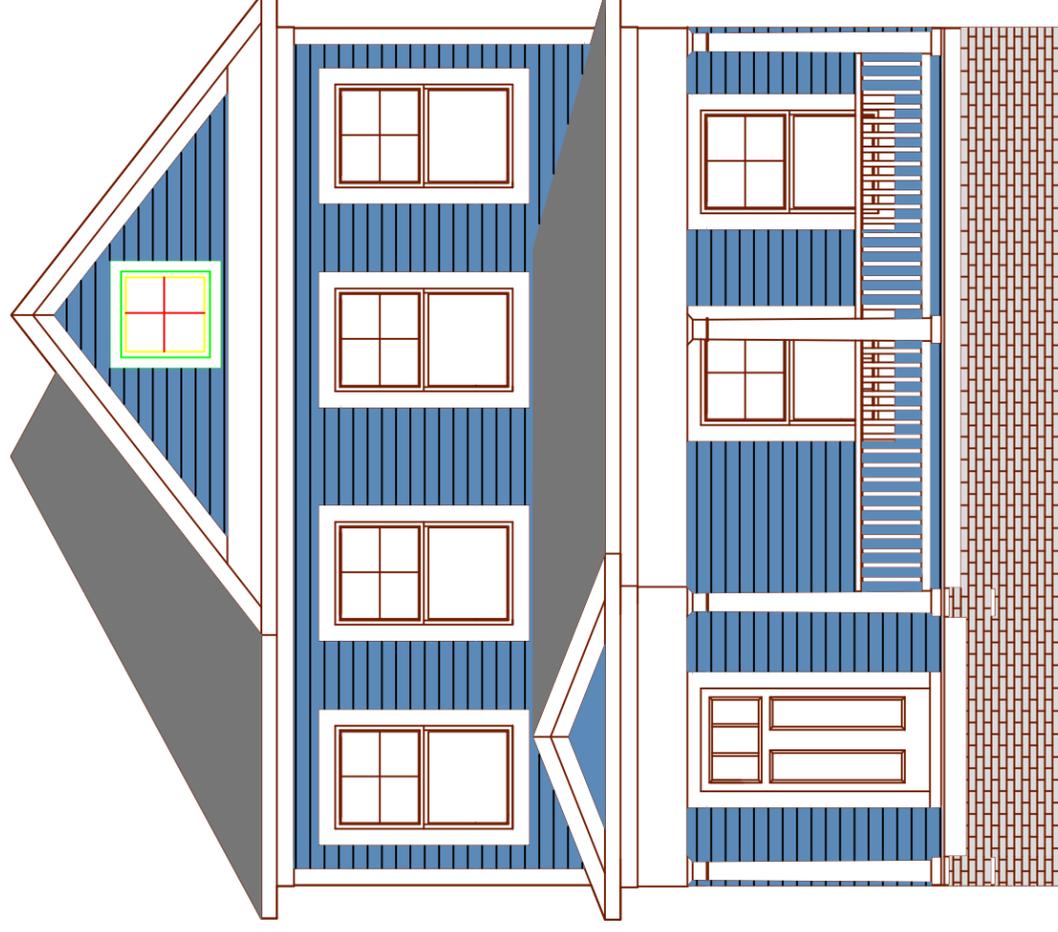


2
A-2
EXISTING FRONT ELEVATION
3/16" = 1'-0"

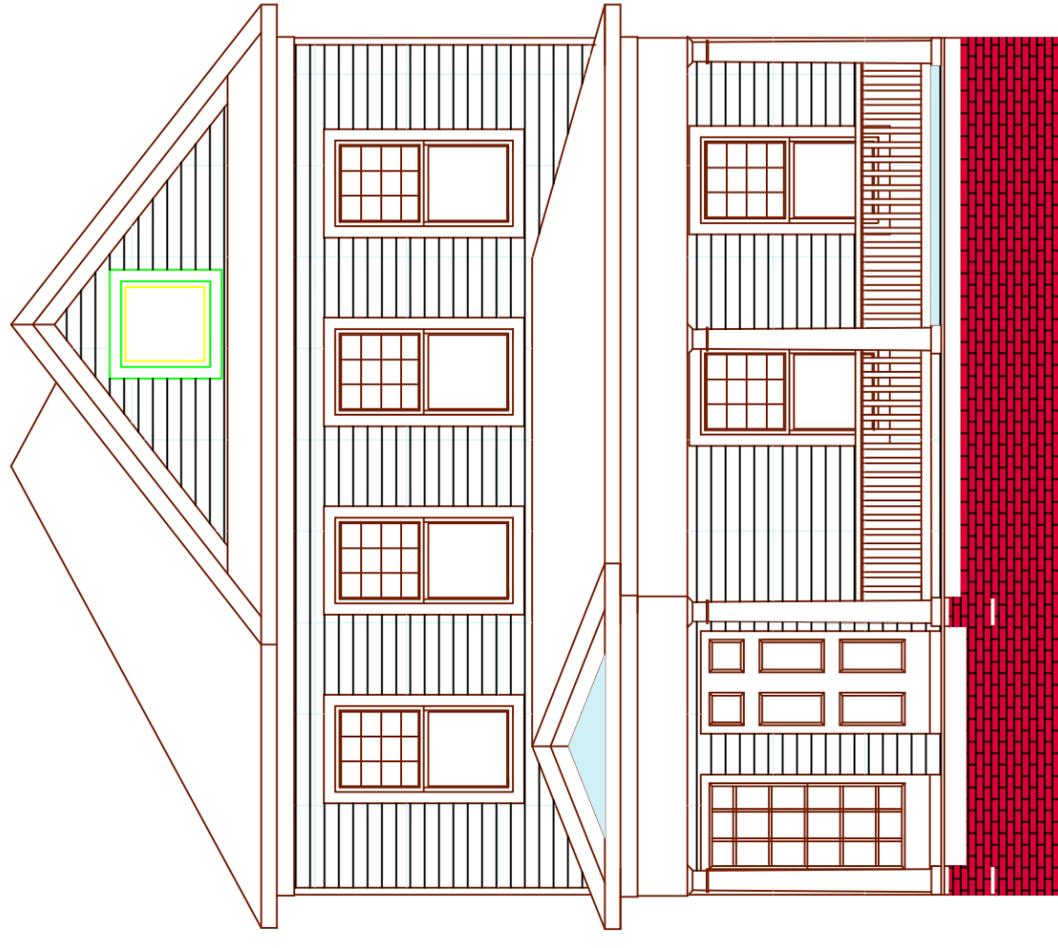
Project:
1121 Rodgers Street
Chesapeake VA 23324

Date:
May 2020

Drawn by: Andy Brock
3537 Ballahack Road
Chesapeake, VA
757-560-6561
Class A Builder
Builder:
CAB Homes Inc



2 HISTORICAL REVIEW AFTER
A-2 3/16" = 1'-0"



2 HISTORICAL REVIEW BEFORE
A-2 3/16" = 1'-0"

Builder:
CAB Homes Inc

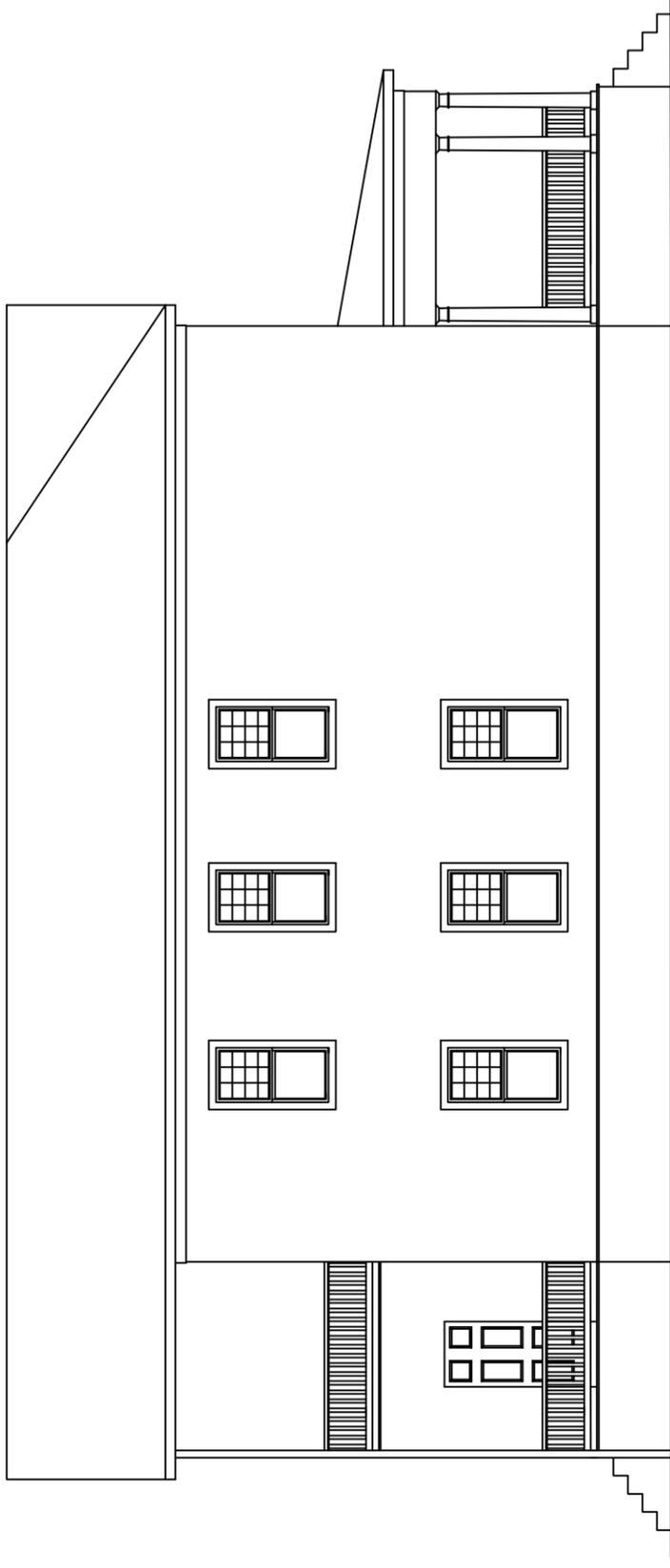
Drawn by: Andy Brock
3537 Ballahack Road
Chesapeake, VA
757-560-6561
Class A Builder

Date:
May 2020

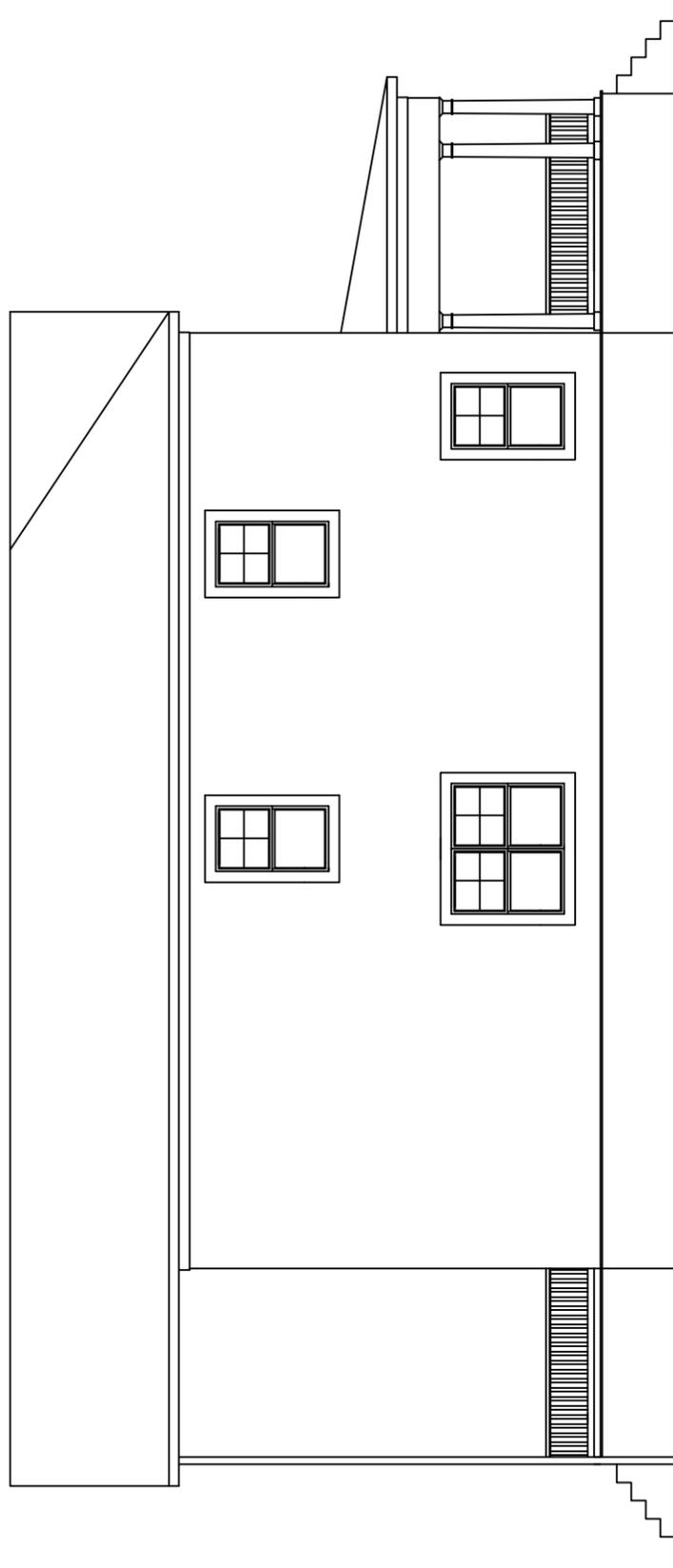
Project:
1121 Rodgers Street
Chesapeake VA 23324

Drawings:
ELEV

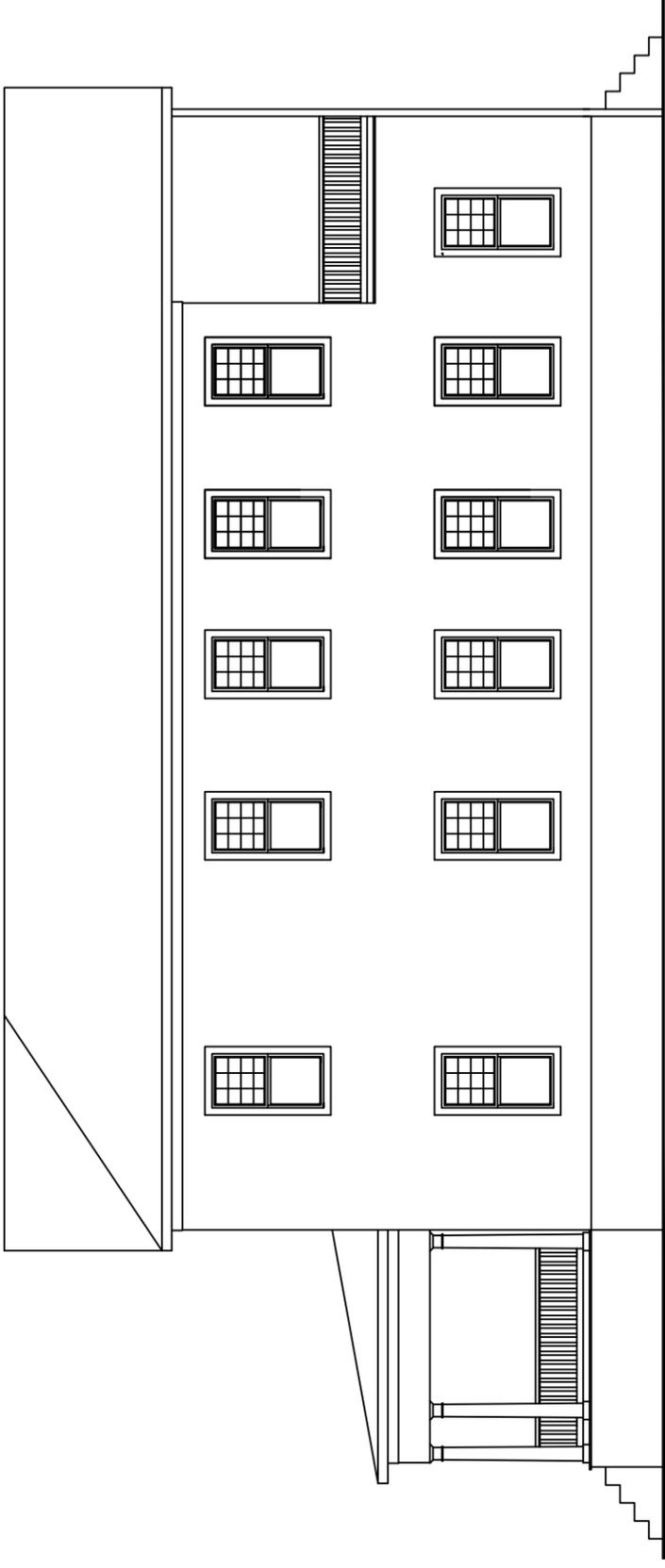
Sheet
A5.1



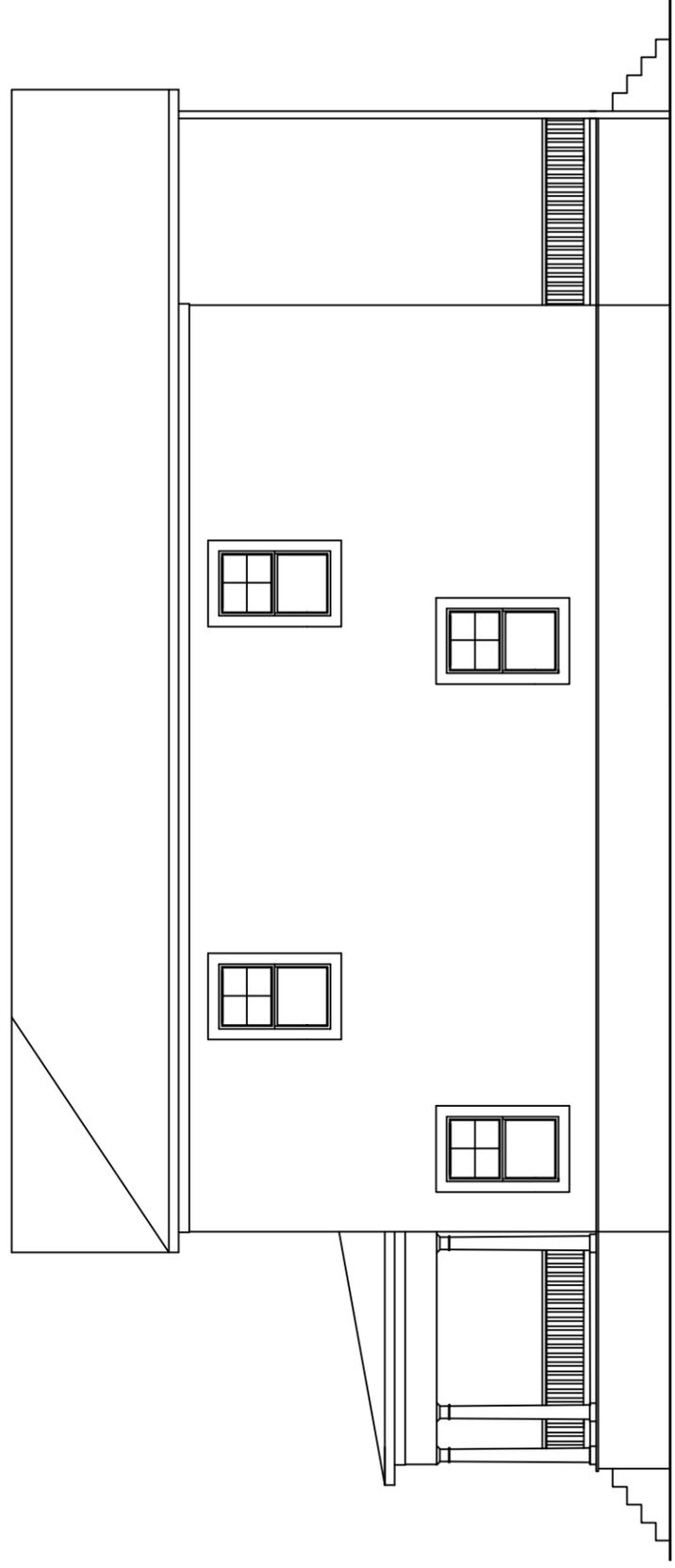
2 LEFT ELEVATION
3/16" = 1'-0"
A-2



2 PROPOSED LEFT ELEVATION
3/16" = 1'-0"
A-2

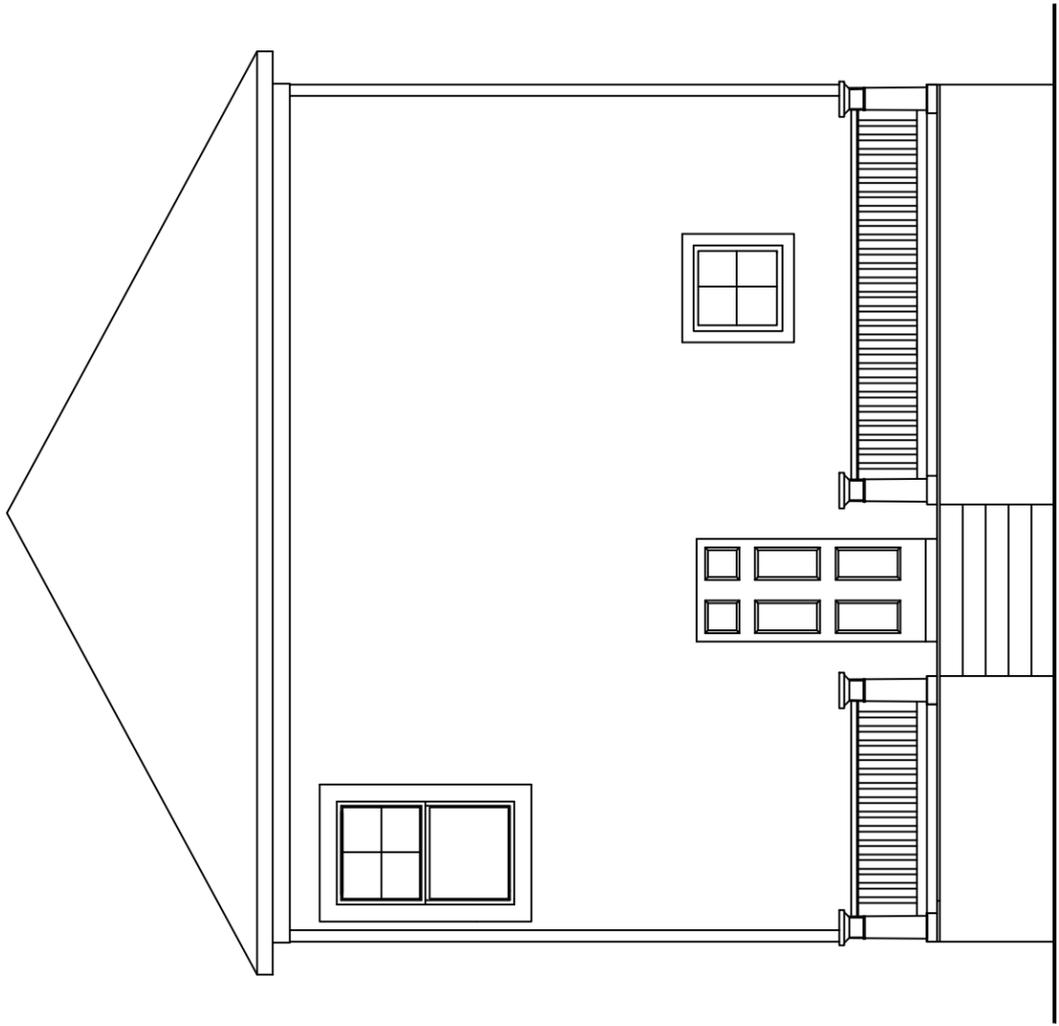


RIGHT ELEVATION
2
A-2 3/16" = 1'-0"

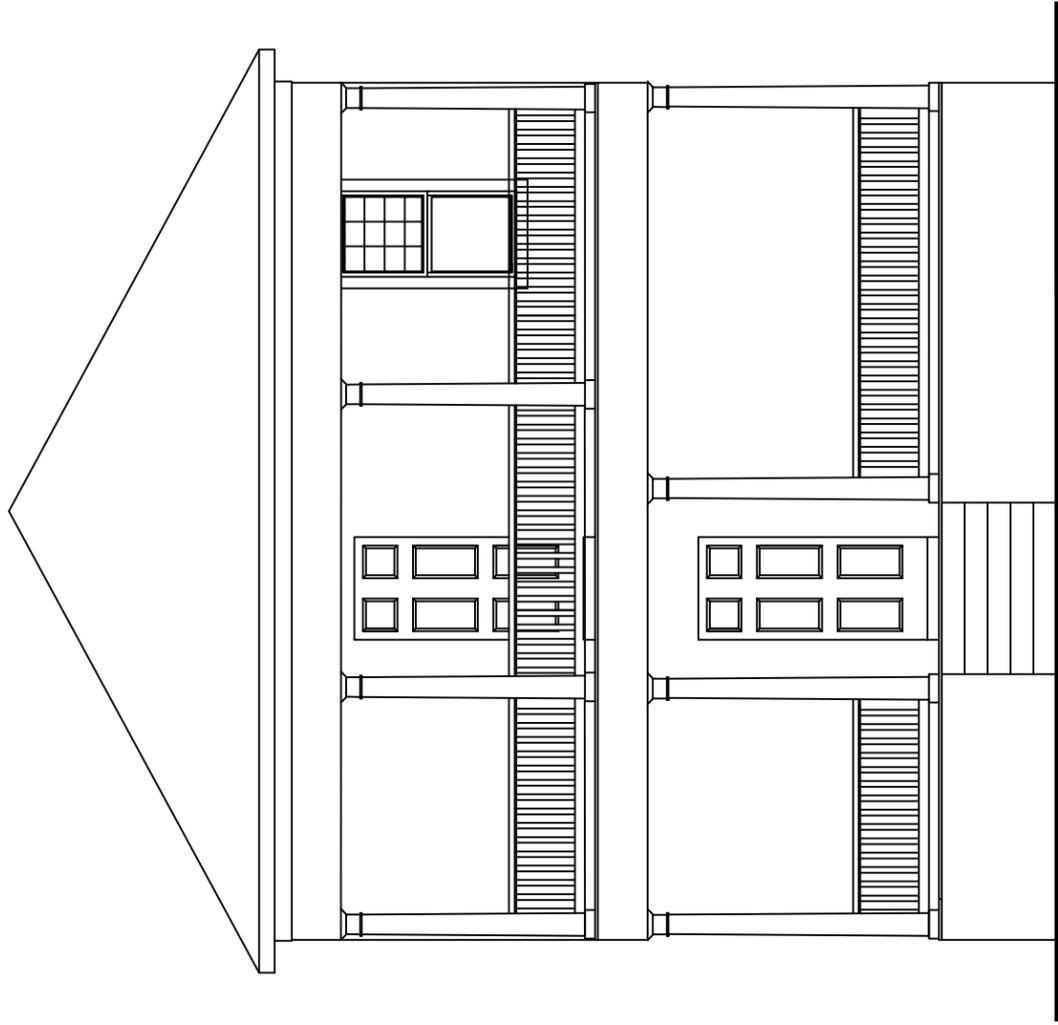


PROPOSED RIGHT ELEVATION
2
A-2 3/16" = 1'-0"

2
A-2
3/16" = 1' - 0"
PROPOSED REAR ELEVATION



2
A-2
3/16" = 1' - 0"
EXISTING REAR ELEVATION



Builder:
CAB Homes Inc

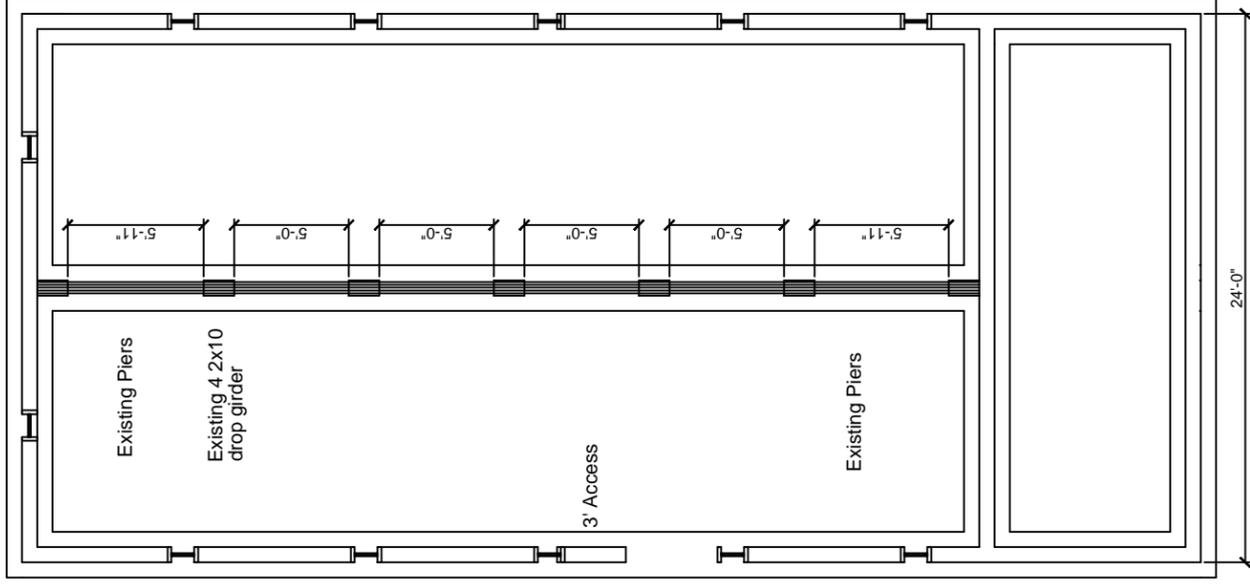
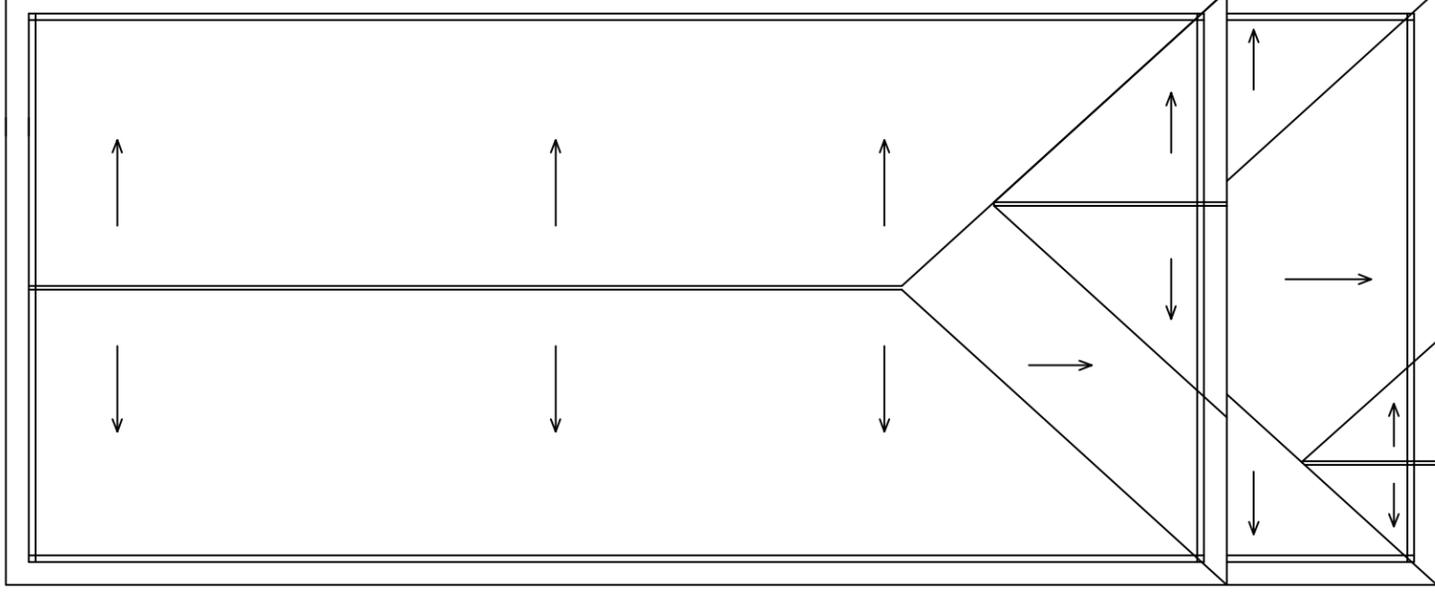
Drawn by: Andy Brock
3537 Ballahack Road
Chesapeake, VA
757-560-6561
Class A Builder

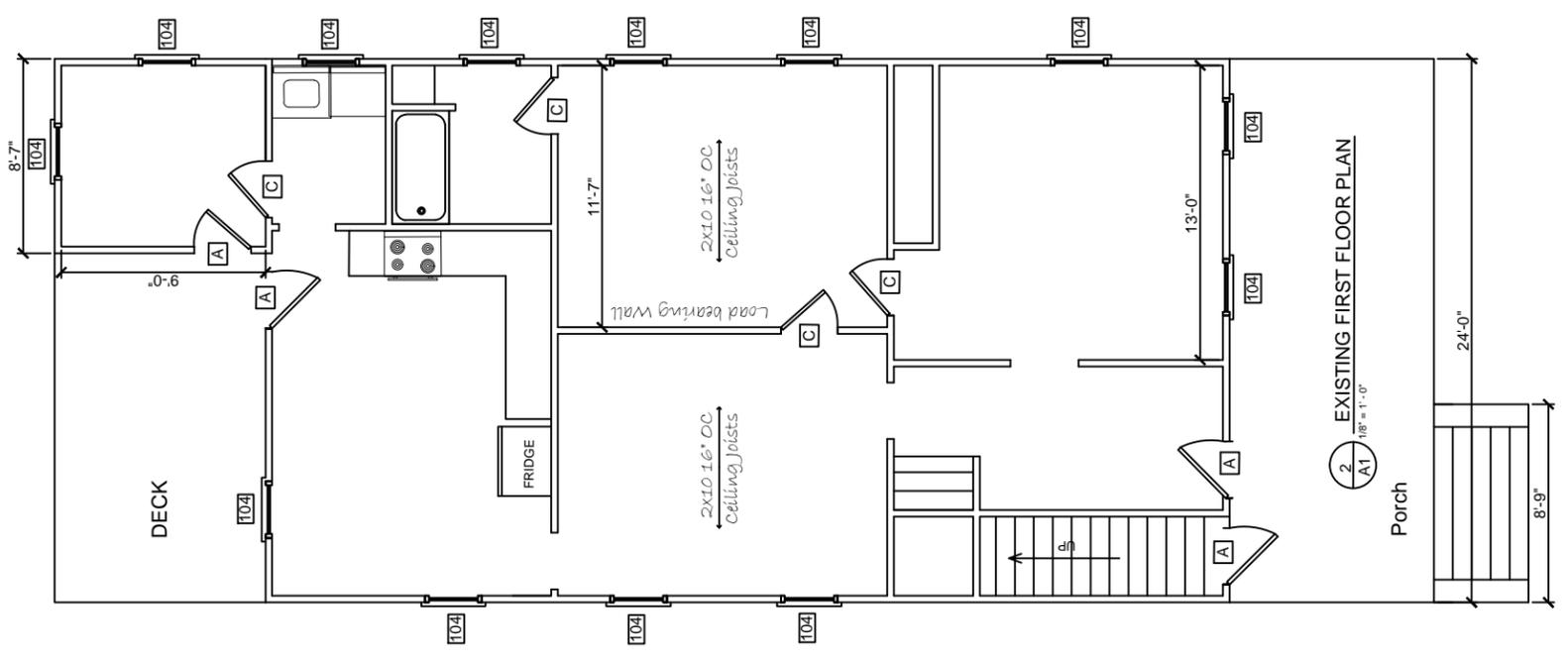
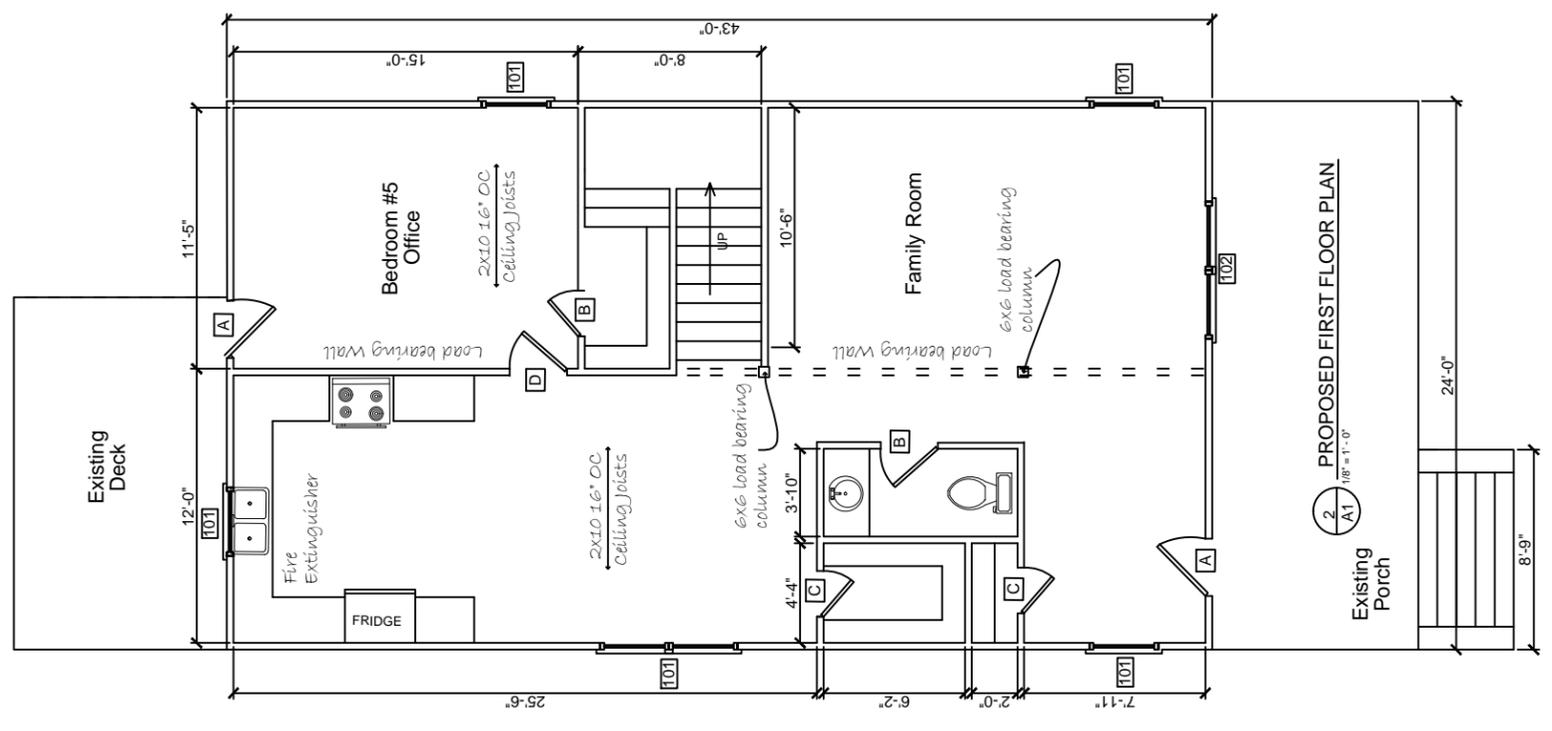
Date:
May 2020

Project:
1121 Rodgers Street
Chesapeake VA 23324

Drawings:
DETAILS

Sheet
A8.1





Builder:
CAB Homes Inc

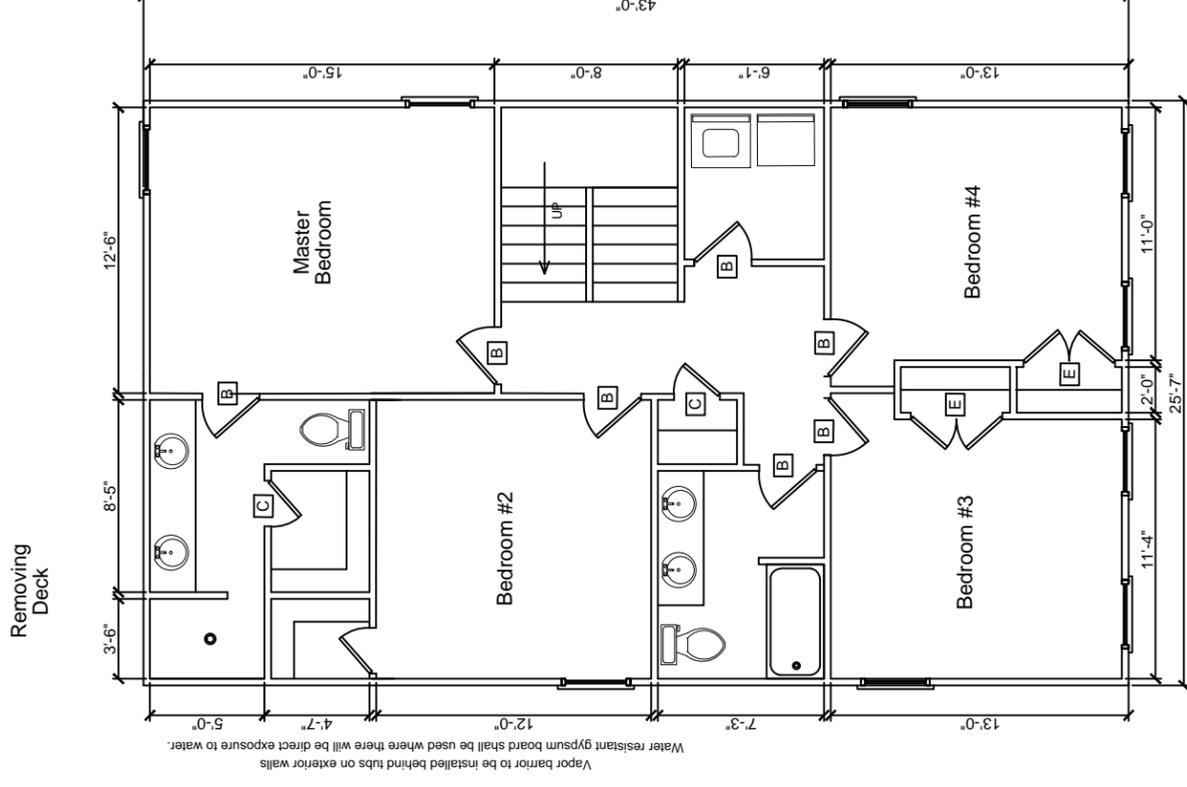
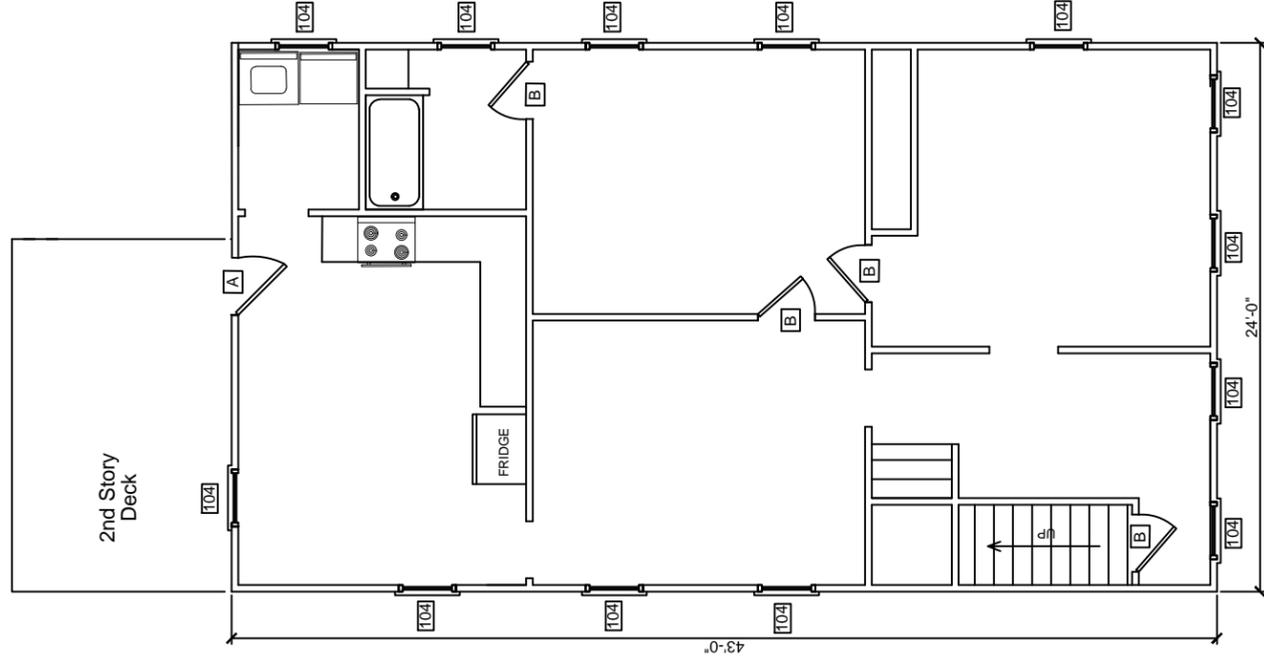
Drawn by: Andy Brock
3537 Ballahack Road
Chesapeake, VA
757-560-6561
Class A Builder

Date:
May 2020

Project:
1121 Rodgers Street
Chesapeake VA 23324

Drawings:
TITLE

Sheet
A2.1



1436 Seaboard Avenue



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#) Record Status: [Closed](#) File Date: [June 3, 2020](#)

Record Number: [PLN-CAPP-2020-069](#)

Expiration Date:

Description:

Record Name: [1436 Seaboard Avenue](#)

[Replace Asphalt Shingle Roof with New Asphalt Shingle Roof](#)
[Paint Vinyl Siding to approved colors of Newburyport Blue HC-155, Stonington Gray HC-170, Amherst Gray HC-167,](#)
[Paint front door to Audubon russet HC-51](#)
[Paint exterior window trim, and Fascia, Soffit White](#)
[Replace windows with vinyl windows](#)

Parent Record Number:

Address: [1436 SEABOARD AVE, CHESAPEAKE, VA 23324](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	CONROY CHRISTOPHER W	1436 SEABOARD AVE, CHESAPEAKE, VA 23324 223	

Parcel Information

Parcel No:
[1340000002880](#)

Contact Information

Name	Organization Name	Contact Type	Phone
Christopher Brown	Flip VA LLC	Applicant	-
Address 1436 Seaboard Avenue, Chesapeake, VA 23320			

Application Specific Information

NATURE OF THE APPLICATION

Description	Certificate of Appropriateness
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-
Approved Administratively	-
Approving Planner	-

Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-
Board Approved Certificate Number	-
I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application.	-
Structure Designation	-

GENERAL INFORMATION

Year Structure Built	1915
Is this an After-the-Fact application?	No
\$250 After the Fact fee, if required.	UNCHECKED
One original delivered to the Planning Department OR a copy attached to the on-line application	UNCHECKED
One disk containing all photos OR photos attached to on-line application	CHECKED
<input type="checkbox"/> Completed and notarized power of attorney form if the applicant is not the property owner.	UNCHECKED

NEW CONSTRUCTION

Completed application form.	UNCHECKED
<input type="checkbox"/> Surveyed site plan (including proposed buildings, structure(s), parking, etc.).	UNCHECKED
Front and side elevations	UNCHECKED
Samples	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
Photographs of the property and adjoining or opposite properties.	UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form.	UNCHECKED
Surveyed site plan or city tax map	UNCHECKED
Elevations	UNCHECKED
Photographs of the existing structure and property.	UNCHECKED
Samples, photos, and brochures	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
<input type="checkbox"/> Proposed signs with appropriate detail as to character and location.	UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form.	CHECKED
Written description of work to be performed	CHECKED
Photographs of the building/structure.	CHECKED
2 quotes each are required for the following:	UNCHECKED
Photos numerically keyed	UNCHECKED

RELOCATIONS

Completed application form	UNCHECKED
<input type="checkbox"/> Photographs of the building or structure to be relocated and adjacent properties.	UNCHECKED
<input type="checkbox"/> Photographs of the premises to which the building or structure will be relocated.	UNCHECKED
<input type="checkbox"/> Written description of reasons for the relocation and the proposed use of the vacated property.	UNCHECKED

DEMOLITIONS

Completed application form	UNCHECKED
<input type="checkbox"/> Photographs of the building or structure to be demolished to illustrate its state of disrepair.	UNCHECKED
Written report on condition of building or structure.	UNCHECKED
Written description of work to be performed	UNCHECKED

METAL ROOFS

Explanation	CHECKED
-------------	---------

SPECIAL POWER OF ATTORNEY

Special Power of Attorney attached	UNCHECKED
------------------------------------	-----------

METAL ROOFS

Info required to replace metal roof with metal roof.	CHECKED
Picture	CHECKED
Specification Sheet	UNCHECKED
Roof color sample	UNCHECKED
Info required to replace metal roof with architectural shingles.	UNCHECKED
Quotes	UNCHECKED
Roof color sample (asphalt)	UNCHECKED



South Norfolk Historic District Certificate of Appropriateness



(Name)

(Address)

For:

Nathan J. Smith

**Recording Secretary,
Board of Historic and Architectural Review**

Certificate Number Date

Note: This Certificate of Appropriateness expires 6 months from the approval date.

This Certificate of Appropriateness does not imply an extension to a Notice of Violation for a property maintenance violation. If you have received a Notice of Violation, please contact the issuing inspector at the Development and Permits Department.





1100 Rodgers Street

Chesapeake

VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1100 Rodgers Street

2. Year Structure Built (or write "new construction"): 1914

3. Applicant(s): Walter & Jessika Blackburn

Address: 1100 Rodgers St

City: Chesapeake State: VA Zip: 23324

Daytime Phone: 423-227-7835 FAX Number: _____

E-mail address: jessikaanneblackburn@gmail.com

4. Owner: (If different from applicant)

Name: Walter G. Blackburn

Address: 1100 Rodgers Street

City: Chesapeake State: VA Zip: 23324

Daytime Phone: 423-227-7835 FAX Number: _____

E-mail address: jessikaanneblackburn@gmail.com

Signature of Applicant/Agent & Date: Jessika A. Blackburn 6-21-20

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

Replace entire roof with shingles. Roof is
half shingle and metal and damaged by storm in
April. Repair fence damaged as well. Strip &
paint front porch. Paint is peeling and needs
repainted. Porch floor is unsealed and needs
sealed.

Certificate of Appropriateness Application
Initial/Date JB 6-21-20

July 21, 2016

6. For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES _____ NO _____

7. Will you be applying for consideration of a financial hardship determination? (please ✓ all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES _____ NO X

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____ (Date) by _____ (Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES _____ NO _____

If application needs to go to Board, please provide the date of the next meeting _____ (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

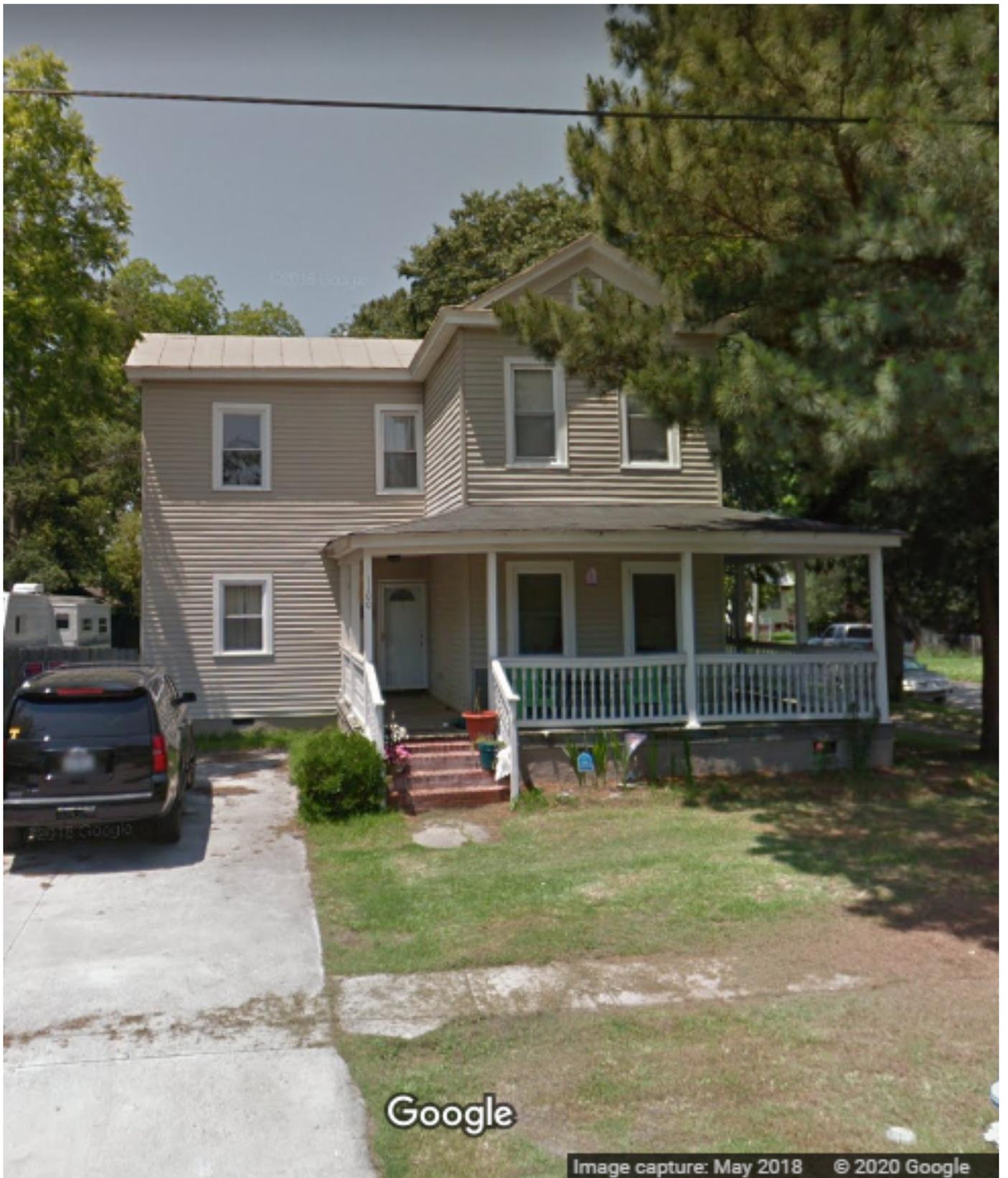
Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, Jessica Blackburn, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

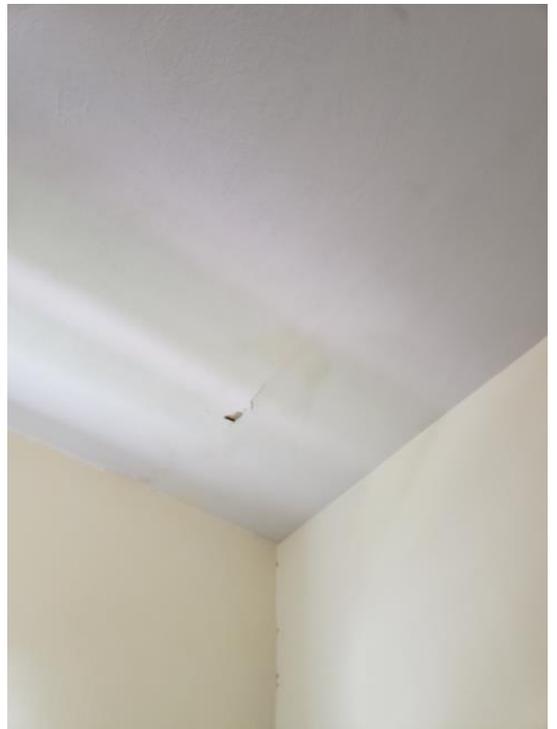
Certificate of Appropriateness Application
Initial/Date JB 6-21-20

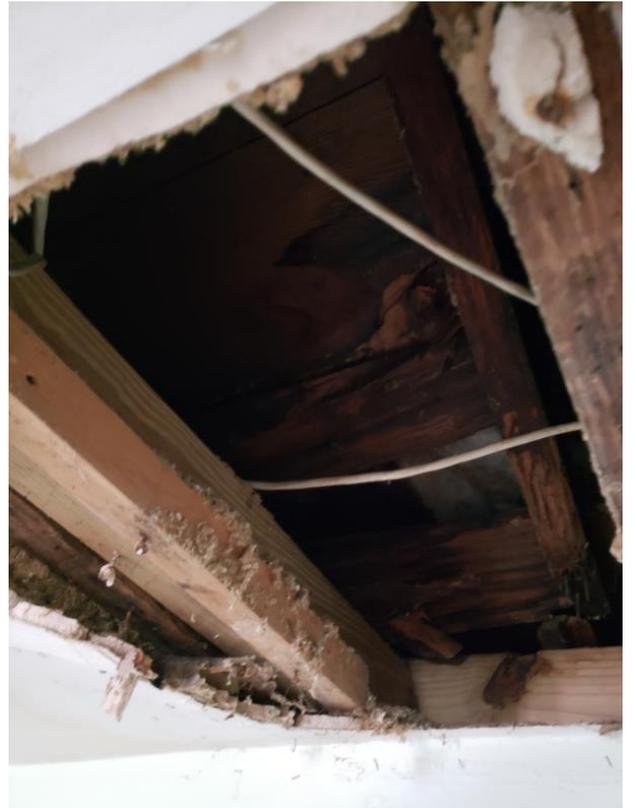
July 21, 2016

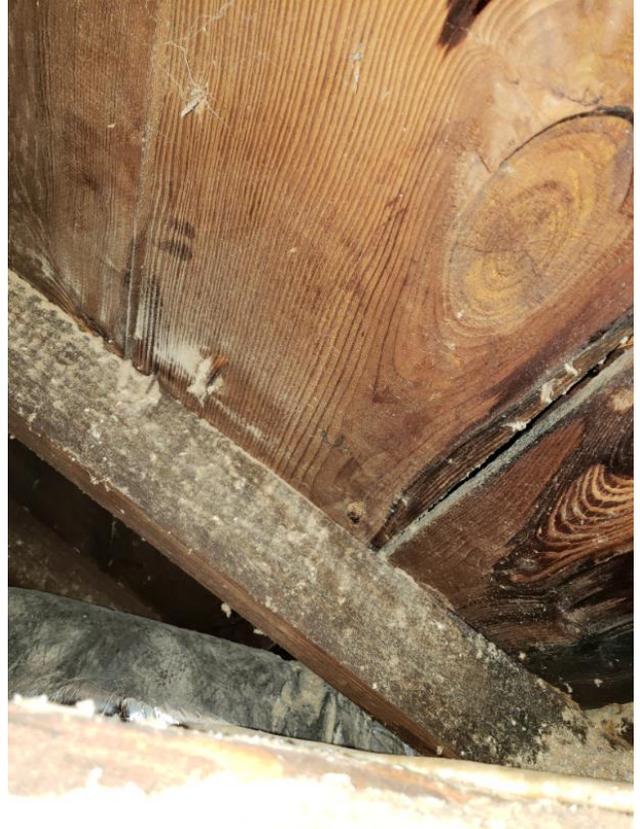


Google

Image capture: May 2018 © 2020 Google









Chuck Simpson Apr 26

to me, ADMIN 



April 26, 2020

Jessika Balckburn

1100 Rodgers Street

Chesapeake VA 23324

Dear Jessika:

I wanted to send you a quick note to thank you for giving me the opportunity to help you with your Roofing project. Attached is the proposal an asphalt shingle roof you requested. It will be aproximatley \$ 66,650.00 for a metal standing seam roof.

The Roofing Company offers a wide variety of solutions and can help with recommendations to meet your needs. If you are have any questions, please feel free to call us or request a Virtual Zoom meeting to go over your project.

Thank You

Chuck Simpson

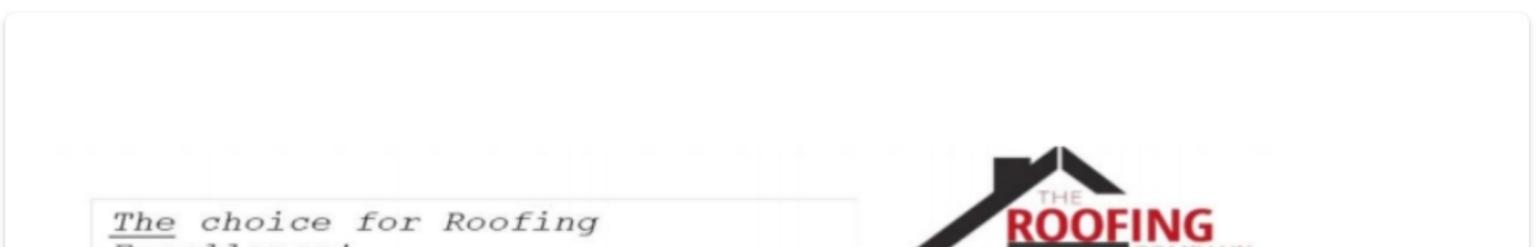


“The Choice for roofing excellence!”

2106 Aluminum Avenue, Hampton, VA 23661

Cell: **757-761-9967** Office 757-867-6600

Fax 757-867-6629 / www.theroofingcompany.com





To Whom It May Concern,

Ready Roofing was asked by Jessika Blackburn to furnish a quote for either repairs or replacement of her property located in Norfolk VA. Ready Roofing completed a thorough inspection of the roof at 1100 Rogers Street, Chesapeake, VA. 23324

In the professional opinion of Ready Roofing the metal roof currently on the home is the original roof installed in 1914. This roof has exceeded its serviceable life span and cannot be repaired. The section on the rear of the roof that was replaced with shingles some time in the past by others has also exceeded its serviceable life span.

The entire roof needs to have all of the original roof sheathing replaced prior to the installation of a new roof system due to the lack of a solid nail base that would meet current building codes. I have furnished quotes for an asphalt shingle replacement or a standing seam metal roof replacement.

If anyone needs any further information please feel free to contact me directly.

Regards,
Todd Wright
General Manager
Ready Roofing
757-251-9022



Integrity Roofing LLC
 4445 Corporation Ln, Suite 251
 Virginia Beach, VA 23462
 VA Class A License
 #2705173639
 Local Phone: **757-500-8568**
 Toll Free: **833-WOW-OYES**
 Email: IntegrityRoofingVA@gmail.com
 Website: **IntegrityRoofingVA.com**

Existing Shingles:	<input type="checkbox"/> Roof Over	<input checked="" type="checkbox"/> Complete Tear-Off
Wood Replacement:	<input type="checkbox"/> None <input checked="" type="checkbox"/> Some	<input type="checkbox"/> All deck boards that need replacing
Underlayment:	<input type="checkbox"/> 15lb <input type="checkbox"/> 30lb <input type="checkbox"/> Synthetic	<input checked="" type="checkbox"/> GAF Deck Armor
Ice & Water Shield:	<input type="checkbox"/> No <input type="checkbox"/> Standard	<input checked="" type="checkbox"/> GAF Weather Watch
Ventilation:	<input type="checkbox"/> Roof Louver <input type="checkbox"/> Turbines	<input checked="" type="checkbox"/> GAF Cobra Snow Ridge Vent
Ridge Cap:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> GAF Ridge Cap
Flashing:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes Where Needed
New Pipe Collars:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes All New
Shingles:	<input type="checkbox"/> 3-Tab <input type="checkbox"/> Owens Corning	<input checked="" type="checkbox"/> GAF Timerline HD <u>Z</u>
Warranty:	<input type="checkbox"/> 1 Yr <input type="checkbox"/> 25Yr Limited Lifetime	<input checked="" type="checkbox"/> GAF Premium Lifetime Warranty <u>50yr Warranty</u>

500' of 1x6 Replacement included

Some Joist + Rafter Repair included

(1 Year Price) Total Investment: \$ 23,000

Equity up to 80% (cost vs Value Report) \$ 18,400

Potential Energy Savings (over 5 years) \$ \$\$\$

Actual Cost After Equity And Energy Savings ~\$ 0

(30 Day Price) Sale Price: \$ 20,700

OPTION 1
CASH/CHECK

50% Down \$10,350

OPTION 2
Financed

10% Down NA

Payment ~ NA





Integrity Roofing LLC
 4445 Corporation Ln, Suite 251
 Virginia Beach, VA 23462
 VA Class A License
 #2705173639
 Local Phone: 775-500-8568
 Toll Free: 833-WOW-0YES
 Email: IntegrityRoofingVA@gmail.com
 Website: IntegrityRoofingVA.com

Existing Shingles:	<input type="checkbox"/> Roof Over	<input checked="" type="checkbox"/> Complete Tear-Off
Wood Replacement:	<input type="checkbox"/> None	<input checked="" type="checkbox"/> All deck boards that need replacing <i>\$50 each extra</i>
	<input checked="" type="checkbox"/> Some (3)	
Underlayment:	<input type="checkbox"/> 15lb <input type="checkbox"/> 30lb	<input checked="" type="checkbox"/> GAF Deck Armor
	<input type="checkbox"/> Synthetic	
Ice & Water Shield:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> GAF Weather Watch
	<input type="checkbox"/> Standard	
Ventilation:	<input type="checkbox"/> Roof Louver	<input checked="" type="checkbox"/> GAF Cobra Snow Ridge Vent
	<input type="checkbox"/> Turbines	
Ridge Cap:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> GAF Ridge Cap
Flashing:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes Where Needed
New Pipe Collars:	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes All New
Shingles:	<input type="checkbox"/> 3-Tab <input type="checkbox"/> Owens Corning	<input checked="" type="checkbox"/> GAF Timertline <i>HDZ Hickory</i>
Warranty:	<input type="checkbox"/> 1 Yr <input type="checkbox"/> 25Yr Limited Lifetime	<input checked="" type="checkbox"/> GAF Premium Lifetime Warranty

(1 Year Price) Total Investment: \$ 15,450

*Military Discount
 Saves \$1,550*

Equity up to 80% (cost vs Value Report) \$ 12,360

Potential Energy Savings (over 5 years) \$ 2,000

Actual Cost After Equity And Energy Savings ~\$ 0

(30 Day Price) Sale Price: \$ 13,900

**OPTION 1
 CASH/CHECK**

50% Down \$ 6,950

**OPTION 2
 Financed**

10% Down _____

Payment ~ _____





CONTRACT

Ready Roofing Company

312 Lightfoot Road,
Williamsburg, VA, 23188
(757) 251-9022 | Office@ReadyRoofing.Com

PROPOSAL SUBMITTED TO Jessika Blackburn			PHONE (423) 227-7835	EMAIL jessikaanneblackburn@gmail.com
ADDRESS 1100 Rodgers Street			JOB ADDRESS 1100 Rodgers Street, Chesapeake, Virginia, 23324	
CITY Chesapeake	STATE Virginia	ZIP 23324	ROOF ADVISOR Todd Wright	DATE 06/06/2020

"We protect what matters most!"

CONTRACT SPECIFICATIONS FOR LABOR AND MATERIALS

GAF TIMBERLINE HDZ - SYSTEM PLUS LIMITED WARRANTY

- **Remove (1)** - Layer of shingles, existing underlayment, pipe collars, existing skylights, and metal bath exhaust vents.
- **Replace (100)** - Sheets of 1/2" CDX roof decking. Includes Re-Decking entire house to provide solid nail base per GAF spec.
 - **If any additional roof decking needs to be replaced there will be an extra charge per Square Foot: \$2.50 for 1/2" CDX.**
- Install Premium Film Surfaced High Temperature Leak Barrier at all eaves, valleys, rakes, all **GAF STORM GUARD** slopes with shingles lower than 4/12 pitch and around all roof plumbing & vent penetrations.
- Install Premium Breathable Synthetic Underlayment on roof deck of main house. **GAF DECK ARMOR**
- Install NEW PAINTED ALUMINUM FLASHINGS on all walls as needed, includes installation of kick-out flashings at all roof to sidewall termination points.
- Install GAF LIFETIME PIPE COLLARS around all plumbing penetrations.
- Install perimeter starter strips on eaves and rakes **GAF PRO START**
- Install shingle - applied to meet the GAF (6) Nails per shingle specifications to achieve the **UNLIMITED** wind speed resistance warranty and to all applicable local building codes
 - Shingle Option: **GAF TIMBERLINE HDZ LIFETIME HIGH DEFINITION** **Includes 10-Year Stainguard Warranty.**
- Install Exhaust Vent for Roof Ridge **GAF COBRA SNOW COUNTRY ADVANCED**
- Install Protective Ridge Cap Shingles on all ridges. **GAF TIMBER TEX**
- Clean and haul away all job-related debris. **Thoroughly run magnet upon completion of the project.**
- **READY ROOFING COMPANY** includes a **10-year Workmanship Warranty**

Additional Items: Includes installation of a 2-Ply **GAF SDS LIBERTY SHEET** System on Low Slope Roof (Less than 2/12 Pitch) areas on rear of home that cannot have shingles installed per GAF Specs. Includes **FREE UPGRADE** to **GAF TIMBERLINE HDZ** Shingles with an **UNLIMITED** Wind Speed Warranty. Customer is eligible for \$250.00 GAF "ROOFS for TROOPS" Rebate.

This proposal includes the: **GAF SYSTEM PLUS WARRANTY**. This warranty offers Lifetime Limited coverage against manufacturing defects on the **GAF TIMBERLINE HD** Shingles and the **GAF ACCESSORY PRODUCTS** in your roofing system with a **NON-PRORATED PROTECTION PERIOD OF 50-YEARS**.

Terms: By signing this agreement, the Property Owner authorizes Ready Roofing (Company) to obtain labor and material in accordance with contract price and Property Owner authorizes Company to accomplish the replacement or repair. During the course of the project, Property owner agrees to pay Company any monies received from third party, such as cost increases, supplements, and/or general contractor overhead and profit, when paid by third party. Furthermore, customer understands that they are responsible for items not listed on this contract or scope of work on a time and material basis.

Special Notes:

Includes upgrading ventilation system on home to a vented ridge system. All box vents will be cancelled and removed as part of the upgrade.



Shingle Color: CHARCOAL

Proposed Project	
GAF System Plus Roof System	\$27,495.00
INITIAL CONTRACT PRICE	\$27,495.00
Applicable Discount - READY ROOFING "HOMETOWN HEROES" (\$1000.00) "THANK YOU FOR YOUR SERVICE"!!	\$1000.00
TOTAL CONTRACT PRICE	\$26,495.00

Signature

Signature

FORM / PROPOSAL

Ready Roofing Company
 312 Lightfoot Road,
 Williamsburg, Virginia,
 23188
 todd@readyroofing.com
 (757) 251-9022

For: Jessika Blackburn
 Job Address: 1100 Rodgers Street,
 Chesapeake, Virginia, 23324
 jessikaanneblackburn@gmail.com
 (423) 227-7835

Job Id 2005-1385995-01	Proposal # 0435	Proposal Date 06/19/2020
------------------------	-----------------	--------------------------

Proposal Amount	\$55,621.67
------------------------	--------------------

Contractor license # 82348

#	Type	Name	Description	Unit / Qty
1	MATERIALS	26 Gauge Metal Roofing	Standing seam metal roofing system <i>Trade Type: ROOFING</i>	SQ / 33.00
2	MATERIALS	GAF Storm Guard	Film Surfaced High Temperature Leak Barrier. <i>Trade Type: ROOFING</i>	Roll / 20.00
3	MATERIALS	Metal Valley	"W" Profile <i>Trade Type: ROOFING</i>	SF / 100.00
4	MATERIALS	Metal Ridge Vent	<i>Trade Type: ROOFING</i>	LF / 150.00
5	LABOR	Metal Medium Slope Labor	Labor for Medium Slope Tear Off and Replacement <i>Trade Type: ROOFING</i>	SQ / 33.00

Total	\$55,621.67
-------	-------------

**Customer
Signature:**

Signature
Signature Date



Patriot Red

