

South Norfolk
Historic & Architectural Review Board



September 19, 2019





AGENDA

Board of Historic and Architectural Review
September 19, 2019
Portlock Gallery
3815 Bainbridge Blvd.
5:30 PM

- A. Call To Order
- B. Roll Call
- C. Approval of the August 1, 2019 regular meeting minutes.
- D. Consent Agenda
 - 1. 1119 Seaboard Avenue**
New application for previously approved PLN-CAPP-2019-012, replace rotten/damaged wood as needed (keep porch columns), install new vinyl siding in an approved Benjamin Moore Historic Collection color, and install new 2-over-2 vinyl windows with exterior raised muntins.
 - 2. 903 Park Avenue**
New application for previously approved PLN-CAPP-2018-118, remove rear portion of house, replace with two story addition (keep exterior chimney), install 2-over-1 white vinyl windows- left and right elevation, use wood clapboard siding; repaint foundation like for like.
- E. Regular Agenda
 - 3. 1108 Ohio Street**
Replace front door.
 - 4. 1416 Chesapeake Avenue**
Cover asbestos shingles with vinyl dutch lap siding, remove jalousie windows and replace with 2-over-2 white vinyl windows, cover window on back left side of house with siding, replace side porch/stoop with vinyl railing and composite steps, replace front porch columns with composite material in same style/color.
 - 5. 1115 Park Avenue**
Install new vinyl siding, wrap trim and fascia with vinyl, replace windows.
- F. Old Business
- G. New Business
- H. Committee Reports
- I. Zoning Inspection Status Report
- J. Legal Guidance
- K. Administrative Approvals

L. Citizen Input

M. Adjournment

The City of Chesapeake will provide reasonable accommodations and services necessary for sensory-impaired and disabled persons by contacting Mr. Tim Winslow, Facilities Manager, Public Works at 382-6273 at least three-working days in advance and language assistance to individuals with limited English proficiency to the extent possible by contacting the Planning Department at 382-6176 at least 10 days in advance of this meeting. *While this is not a public hearing, the public and any one or several members of the Chesapeake City Council may choose to attend.



Meeting Minutes
Historic and Architectural Review Board (HARB)
August 1, 2019
Portlock Gallery – 3815 Bainbridge Blvd.

ROLL CALL

HARB Members Present: Joe Maguire; Ed Conner; Tammi Amick; David Schleeper; Ellsworth Spicher.

Staff: Meredith H. Jacobi, Legal Counsel – City Attorney’s Office; Pam Witham and Carlos Rodriguez – Development and Permits, Code Compliance Division; Nathen Lamb – Recording Secretary, Planning Department.

Chair J. Maguire called the meeting to order at 5:50 p.m.

MINUTES

Approval of the July 9, 2019 regular meeting minutes; ***motion to approve minutes with no amendments made by E. Spicher, and seconded by D. Schleeper, all members present voting yes.***

REGULAR AGENDA

1119 Seaboard Avenue

Original Request

- Replace rotten/damaged wood as needed (keep porch columns), install new vinyl siding in an approved Benjamin Moore Historic Collection color, install new 2-over-2 vinyl windows with exterior raised muntins; applicant absent; ***motion to continue application as submitted made by D. Schleeper, and seconded by E. Connor, all members present voting yes.***

1446 Chesapeake Avenue

Original Request

- Install 4” lap vinyl siding in almond color, applicant absent for a second consecutive month, Board members find vinyl not appropriate; ***motion to deny application made by T. Amick, and seconded by D. Schleeper, two (2) members E. Conner and E. Spicher opposed, three (3) members voting yes, motion carries.***

Old Business

None

New Business

1. Joint quarterly meetings

Motion to approve participating in joint quarterly meetings with the South Norfolk Revitalization Commission, Historic Preservation Commission, and Chesapeake Land Bank Authority, by sending two (2) HARB representatives appointed by Chair J. Maguire made by J. Maguire, and seconded by T. Amick, one (1) member D. Schleeper opposed, four (4) members voting yes, motion carries.

2. Addition of two (2) alternate members to HARB

Board discusses alternate members should be members who have backgrounds in the construction trades or with related expertise such as architecture and design, and that the most appropriate time for alternate members to be appointed would be subsequent to the creation of an additional historic and cultural preservation overlay district.

Committee Reports

None

Zoning Inspection Status Report

None

Legal Guidance

None

Administrative Approvals

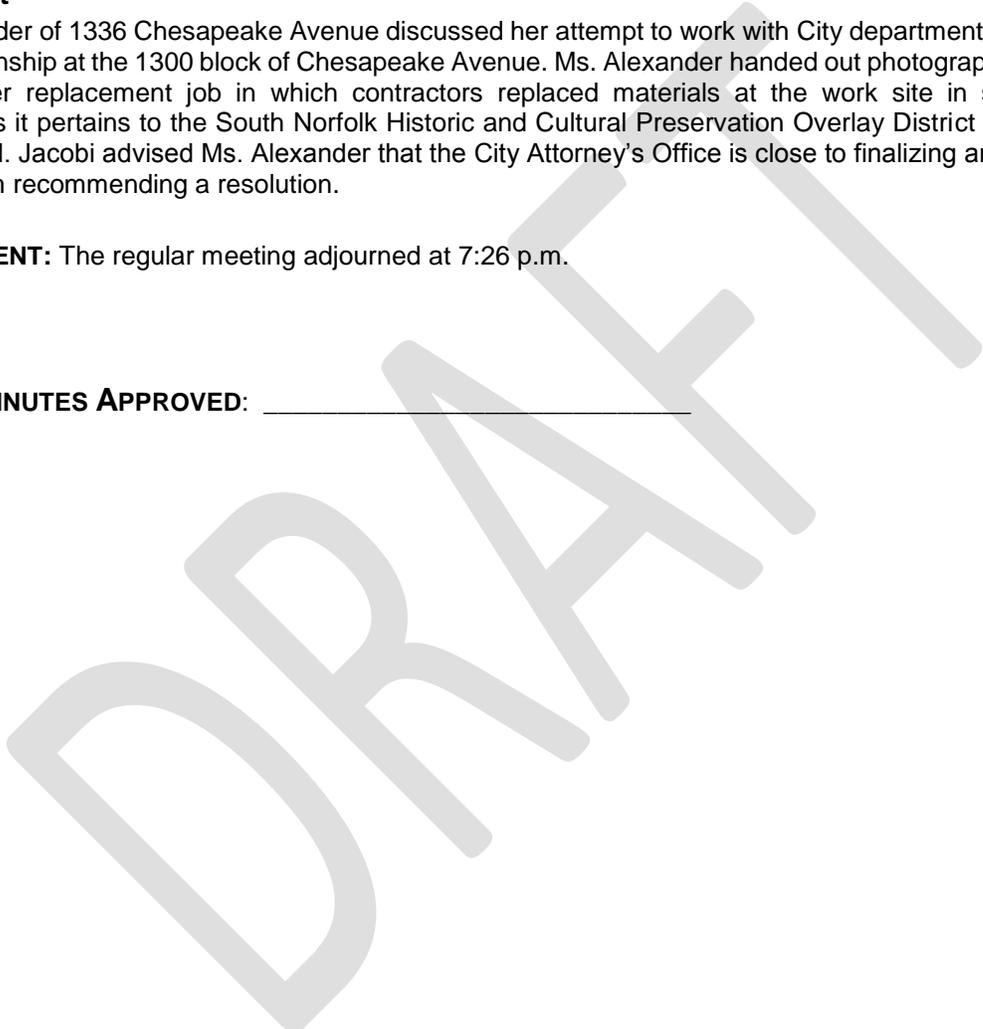
N. Lamb reported three (3) administrative approvals – all like for like.

Public Input

Kellie Alexander of 1336 Chesapeake Avenue discussed her attempt to work with City departments to find a resolution for poor workmanship at the 1300 block of Chesapeake Avenue. Ms. Alexander handed out photographs which show a Public Utilities sewer replacement job in which contractors replaced materials at the work site in substandard condition, particularly as it pertains to the South Norfolk Historic and Cultural Preservation Overlay District Design and Procedural Guidelines. M. Jacobi advised Ms. Alexander that the City Attorney’s Office is close to finalizing and circulating an official memorandum recommending a resolution.

ADJOURNMENT: The regular meeting adjourned at 7:26 p.m.

MEETING MINUTES APPROVED: _____



1119 Seaboard Avenue

Chesapeake

VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1119 SEABOARD AVE

2. Year Structure Built (or write "new construction"): 1925

3. Applicant(s): JAMES R MARTIN

Address: 1125 SEABOARD AVE

City: ches State: VA Zip: 23321

Daytime Phone: 757-619-5446 FAX Number: _____

E-mail address: ELEVENKIDSR15@MSN.COM

4. Owner: (If different from applicant)

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

Signature of Applicant/Agent & Date: JRM 07-

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

EXTENSION OF PREVIOUS APPROVAL

For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES _____ NO _____

6. Will you be applying for consideration of a financial hardship determination? (please ✓ all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES _____ NO ✓

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____ (Date) by _____ (Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES _____ NO _____

If application needs to go to Board, please provide the date of the next meeting _____ (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, _____, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.



South Norfolk Historic District Certificate of Appropriateness



James Martin

(Name)

1119 Seaboard Avenue

(Address)

For:

Replace rotten/damaged wood as needed (keep porch columns), install new vinyl siding in an approved Benjamin Moore Historic Collection color, install new 2-over-2 vinyl windows with exterior raised muntins.

Recording Secretary,

Board of Historic and Architectural Review

PLN-CAPP-2019-012

Certificate Number

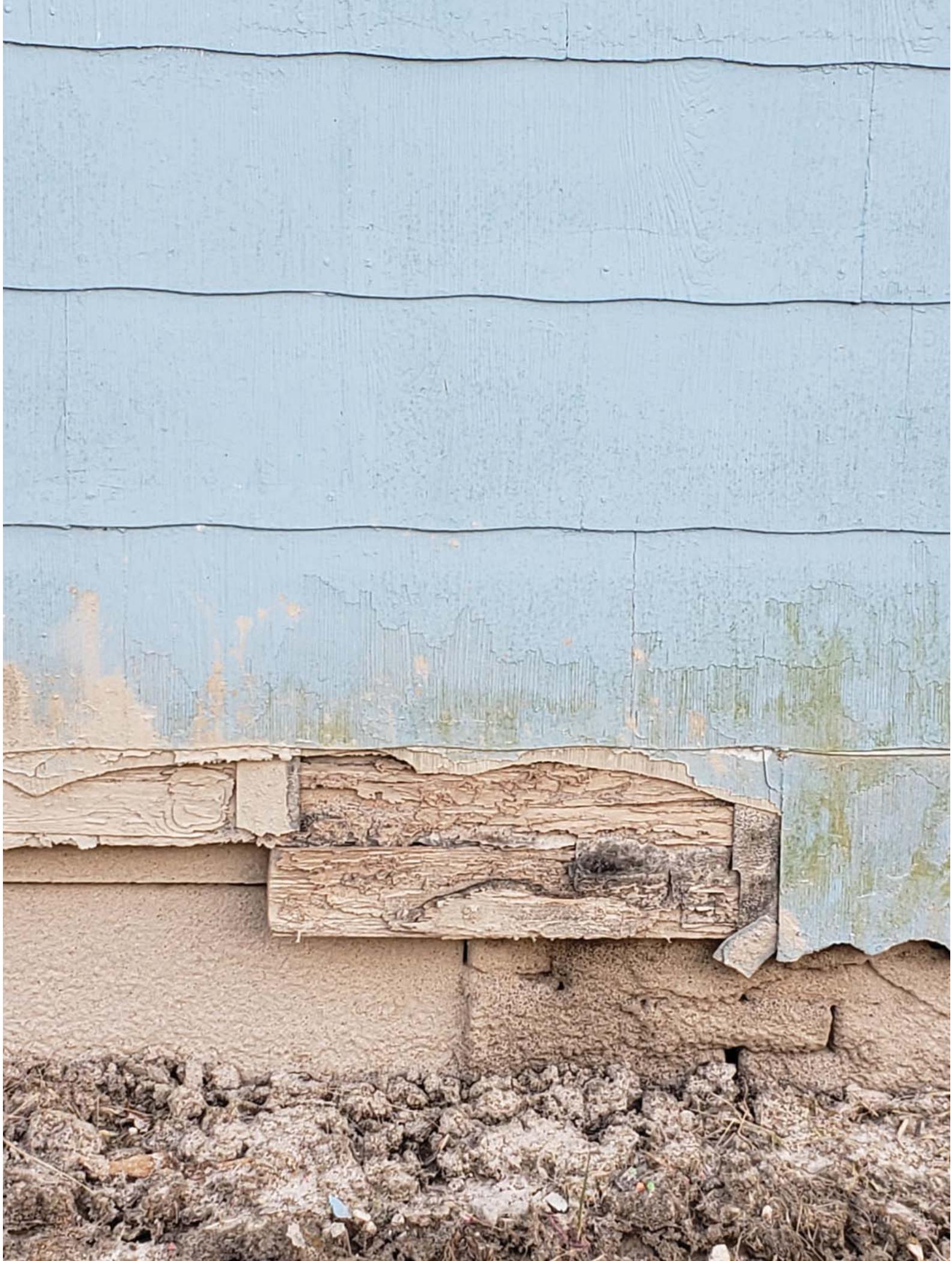
02/08/2019

Date

Note: This Certificate of Appropriateness expires 6 months from the approval date.

This Certificate of Appropriateness does not imply an extension to a Notice of Violation for a property maintenance violation. If you have received a Notice of Violation, please contact the issuing inspector at the Development and Permits Department.

















Item # 89001 Model # 651077A

Georgia-Pacific Vision Pro Vinyl Siding Panel Double 4 Traditional Beige 8-in x 150-in

5 Ratings



3.0 Average

60%

Recommend this product



Community Q&A
View Now



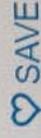
\$8.88

- Whether you're building a dream home or renovating for years, there's one solution for your home's
- Georgia-Pacific Vision Pro Vinyl Siding offers a versatile design, and great value
- A vision in any color, Vision Pro is an affordable complements traditional or contemporary home

Manufacturer Color/Finish



Beige



SAVE

CHECK OTHER STORES

Type here to search



903 Park Avenue

Chesapeake

VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 903 PARK AVE CHESAPEAKE 23324

2. Year Structure Built (or write "new construction"): 1890

3. Applicant(s): ARUNA LLC / RAJ KHULLAR

Address: 402 Mallet way

City: Chesapeake State: VA Zip: 23323

Daytime Phone: 757 553 4040 FAX Number: _____

E-mail address: LBDCONSTRUCTIONS757@GMAIL.COM

4. Owner: (If different from applicant)

Name: ARCHBELL

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

Signature of Applicant/Agent & Date: Raj Khullar

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES NO

6. Will you be applying for consideration of a financial hardship determination? (please ✓all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES NO

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____(Date) by _____(Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES NO

If application needs to go to Board, please provide the date of the next meeting _____(see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, _____, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.

SPECIAL POWER OF ATTORNEY

Application No: _____

Tax Map Number(s): _____

Property Description (Street Address, if assigned, or Common Description,
Borough): 903 Park Ave, Chesapeake VA 23324 Legal Descr: PT 34-36-38-40 BLK 34 E L & I CO

Nature of certificate of appropriateness sought: _____

To have previously approved set of plans approved by HARB for use by contracted buyer Aruna LLC.

Applicants Interest in the Property

Owner

Contract Purchaser

Owner's Agent*

Lessee/Tenant*

*Owner or contract purchaser must complete the Power of Attorney Form below

This 10 day of September, 2019, the below-signed individuals do hereby
appoint Aruna LLC

_____ mailing address of _____

_____, as their Attorney-in-fact and grant and confer to them the
following powers with respect to the property located at

903 Park Ave, Chesapeake VA 23324 in Chesapeake,

Virginia:

1. Full authority to file an application with the Chesapeake Historic and Architectural Review Board ("HARB") for a certificate of appropriateness and/or appeal of the HARB's decision on this certificate of appropriateness to the Chesapeake City Council.
2. The power to amend in whole or in part any of the documents relating to the above-referenced application to the Chesapeake Historic and Architectural Review Board ("HARB"). specifically set of plans previously submitted by Samuel A. Archbell
3. Full authority to appear before the Chesapeake Historic and Architectural Review Board ("HARB") at such time as the Board may consider the application for a certificate of appropriateness and/or before the Chesapeake

Certificate of Appropriateness Application
Initial/Date 09/11/2019

July 21, 2016

City Council on appeal of the HARB's decision on this certificate of appropriateness.

The owner or contract purchaser understands that the attorney-in-fact appointed above may act on their behalf and thus both parties must communicate about the repairs and/or work that may or may not be performed in the district, legal requirements of said work or repairs, status of the application and/or comments and decisions made at public meetings on this application. The powers conferred herein shall terminate upon a final determination by Chesapeake Historic and Architectural Review Board and/or the Chesapeake City Council's final determination on the HARB's decision on the application for a certificate of appropriateness.

Owner or Contract Purchaser: ^{1,2}

X sign Samuel A Archbell
Printed Name Samuel A Archbell
Title Owner
Company _____

Owner or Contract Purchaser: ^{1,2}

sign Raj Khullar
Printed Name RAJ KHULLAR
Title Partner
Company Arvna, LLC

Commonwealth/State of Virginia

City of Virginia Beach

Subscribed and sworn to before me this 11 day of September

2019



Karen Archbell
NOTARY PUBLIC

Notary Registration Number: 7697496

My Commission expires on: Oct. 31, 2020

Commonwealth/State of Virginia

City of Virginia

Subscribed and sworn to before me this _____ day of _____

20____

NOTARY PUBLIC

Notary Registration Number: _____

My Commission expires on: _____

Certificate of Appropriateness Application
Initial/Date 09/11/2019

July 21, 2016



South Norfolk Historic District Certificate of Appropriateness



(Name)

(Address)

For:

Nathan J. Smith

**Recording Secretary,
Board of Historic and Architectural Review**

Certificate Number Date

Note: This Certificate of Appropriateness expires 6 months from the approval date.

This Certificate of Appropriateness does not imply an extension to a Notice of Violation for a property maintenance violation. If you have received a Notice of Violation, please contact the issuing inspector at the Development and Permits Department.



FOR ILLUSTRATION ONLY OF COLOR

ARCHBELL RESIDENCE

#2 - 10/24/18

120 WINGFIELD AVE., CHESAPEAKE, VA 23325

BUILDING SITE: 903 PARK AVE., CHESAPEAKE, VA 23324

PROJECT:

SECOND FLOOR ADDITION & WHOLE HOUSE RENOVATION



3D RENDERING FOR ILLUSTRATION PURPOSES ONLY. ACTUAL ELEVATION MAY DIFFER FROM ARTIST IMPRESSIONS.

PLANS PREPARED BY:

MJA DESIGNS, LLC.



325 Fayette Quarter, Chesapeake, VA 23322
 Phone/Fax: (757) 547-5366
 Email: mjadzyn@cox.net

Member American Institute of Building Design

STRUCTURAL CONSULTANT:

Michael W. Schooley, P.E.
 Small Potatoes Structural Engineering Services
 4313 Bonney Road
 Virginia Beach, VA 23452
 P: 757-222-1021
 C: 757-477-1060
 F: 757-962-5468
 MWSchooley@smallpotatoeseng.com

BASIC ABBREVIATIONS:

- A.F.F. ABOVE FINISHED FLOOR
- A.H.U. AIR HANDLING UNIT
- C.O. CEILING OPENING
- CATH. CATHEDRAL
- C.G. CEILING
- CONT. CONTINUOUS
- DM. DOWN
- DMB. DOUBLED
- D.O. DOUBLE OVEN
- D.S. DISAPPEARING PULL-DOWN STAIRS
- D.W. DOWN
- D.W.B. DOWN WALL BOARD
- FR. FRENCH
- G.P.S.U.M. GYPSUM WALL BOARD
- HT. HEIGHT
- HT. HEIGHT
- J.O.S. JOIST OPENING
- O.A.S. ON CENTER
- O/C ON CENTER
- PT. PRESSURE TREATED
- QTR. QUARTER
- R. REFRIGERATOR
- R.O. ROUGH OPENING
- SQ. SQUARE
- SHOWER SHOWER
- SMO. SMOOTH
- T&G TONGUE AND GROOVE
- T.D. TOP OF WINDOW
- T.O.P. TOP OF WINDOW
- W.I.O. WELDED WIRE OTHERWISE
- W.W.F. WELDED WIRE FABRIC

INDEX:

- I-1 CONTENTS
- A-1 DEMOLITION PLAN
- A-2 FOUNDATION PLAN & DETAILS
- A-3 FIRST FLOOR PLAN & DETAILS
- A-4 SECOND FLOOR PLAN & DETAILS
- A-5 ELEVATIONS
- A-6 SECTIONS & DETAILS
- A-7 1st FLOOR & 2nd FLOOR FRAMING
- A-7.1 CEILING & ROOF FRAMING
- A-8 TYPICAL FRAMING DETAILS
- A-9 BRACED WALL PLANS
- A-10 REFLECTED CEILING PLANS



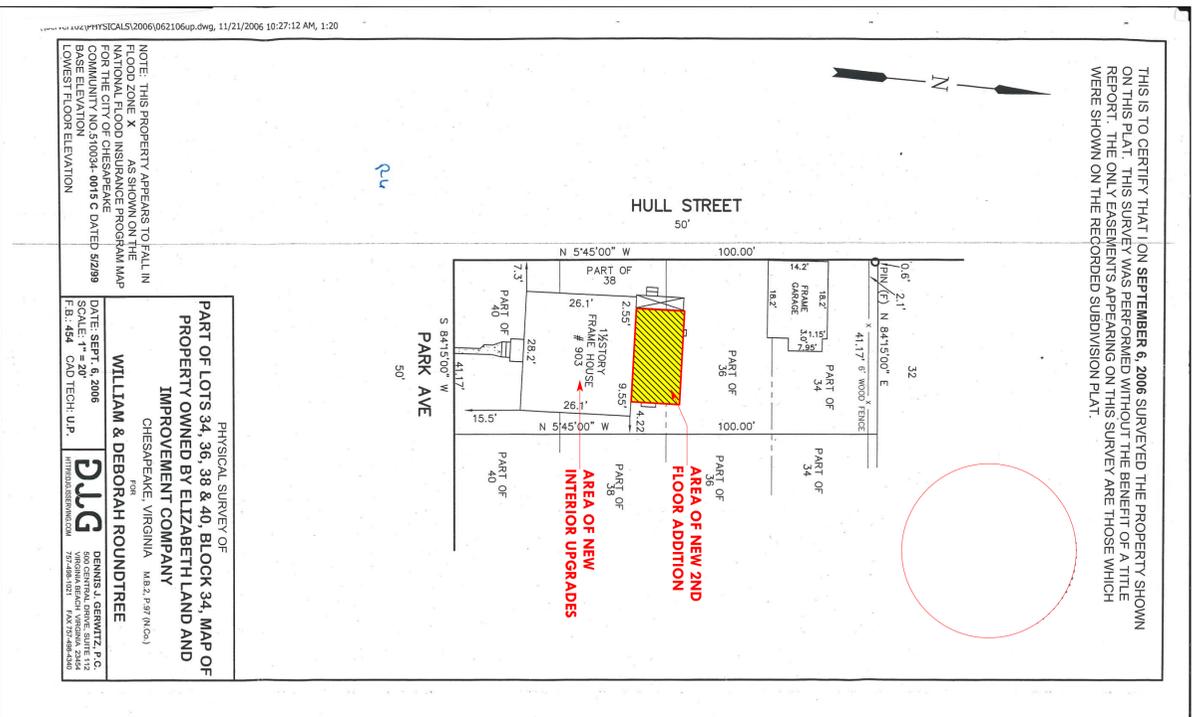
SUBDIVISION USES OUTSIDE THE CHAMBERS FIELD & NIA JIUS & AICUZ NOISE ZONES.

PLAN DESIGNED BY: MONTY J. ANDERSON, A.I.B.D.
 CHESAPEAKE, VA 23322

PLAN DATE: SEPTEMBER 16, 2018
 REVISED:

CODE COMPLIANCE: 2012 VIRGINIA RESIDENTIAL CODE

- USE GROUP: R-5 RESIDENTIAL
- TYPE CONSTRUCTION: V-8 (UNPROTECTED)
- WIND LOAD: S100 MPH, EXPOSURE B - CHESAPEAKE
- WINDOWS SHALL HAVE A MIN. DP30 RATING.
- FENESTRATION U FACTOR: 0.35 MIN.
- EXTERIOR DOORS SHALL HAVE A DP(P5F) +1.30/17.00 RATING. (CHESAPEAKE)



THIS IS TO CERTIFY THAT I ON SEPTEMBER 6, 2006 SURVEYED THE PROPERTY SHOWN ON THIS PLAT. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THE ONLY EASEMENTS APPEARING ON THIS SURVEY ARE THOSE WHICH WERE SHOWN ON THE RECORDED SUBDIVISION PLAT.

NOTE: THIS PROPERTY APPEARS TO BE IN FLOOD ZONE 'X' AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM MAP FOR THE CITY OF CHESAPEAKE COMMUNITY NO.810034-0019 C DATED 9/29/99 LOWEST FLOOR ELEVATION

PHYSICAL SURVEY OF PART OF LOTS 34, 36, 38 & 40, BLOCK 34, MAP OF PROPERTY OWNED BY ELIZABETH LAND AND IMPROVEMENT COMPANY CHESAPEAKE, VIRGINIA, MAP P.97 (100) FOR WILLIAM & DEBORAH ROUNDTREE

DATE: SEPT. 6, 2006
 DRAWN BY: MONTY J. ANDERSON
 P.E. #54 CAD TECH. U.P.

MJA DESIGNS, LLC
 325 FAYETTE QUARTER
 CHESAPEAKE, VA 23322

SCALE: 1" = 20'-0"

NOTE:
 SITE PLAN FOR INTENT ONLY. ALL DIMENSIONS AND BOUNDARY LINES, ETC. ON THIS PLAN SHOULD BE VERIFIED BY THE PROFESSIONAL ENGINEER OR LAND SURVEYOR IF REQUIRED AND ARE SUBJECT TO CORRECTIONS AND/OR CHANGES TO COMPLY WITH CURRANT CODES, REGULATIONS AND COVENANTS.

NO.	DATE	DESCRIPTION

PLANS DESIGNED BY:
 Monty J. Anderson
 MEMBER, AMERICAN INSTITUTE OF BUILDING DESIGN

PLANS PREPARED BY:
MJA DESIGNS, LLC.
Custom Residential Design and Drafting
 525 Fayette Quarter, Chesapeake, Va. 23322
 Phone/Fax: (757) 547-5366
 Email: mjadzyn@cox.net
 Member American Institute of Building Design

CONTENT:
CODE & INDEX

PLANS PREPARED FOR:
ARCHBELL RESIDENCE - ADDITION
 120 Wingfield Ave., Chesapeake, VA 23325
 BUILDING SITE: 903 Park Ave., Chesapeake, VA 23324

Date: 09/16/18
 Scale: NOTED
 Drawn: MJA
 Checked: MJA
 Job: 18-042
 Sheet: **T-1**
 Of 00 Sheets



RIGHT ELEVATION
SCALE: NONE



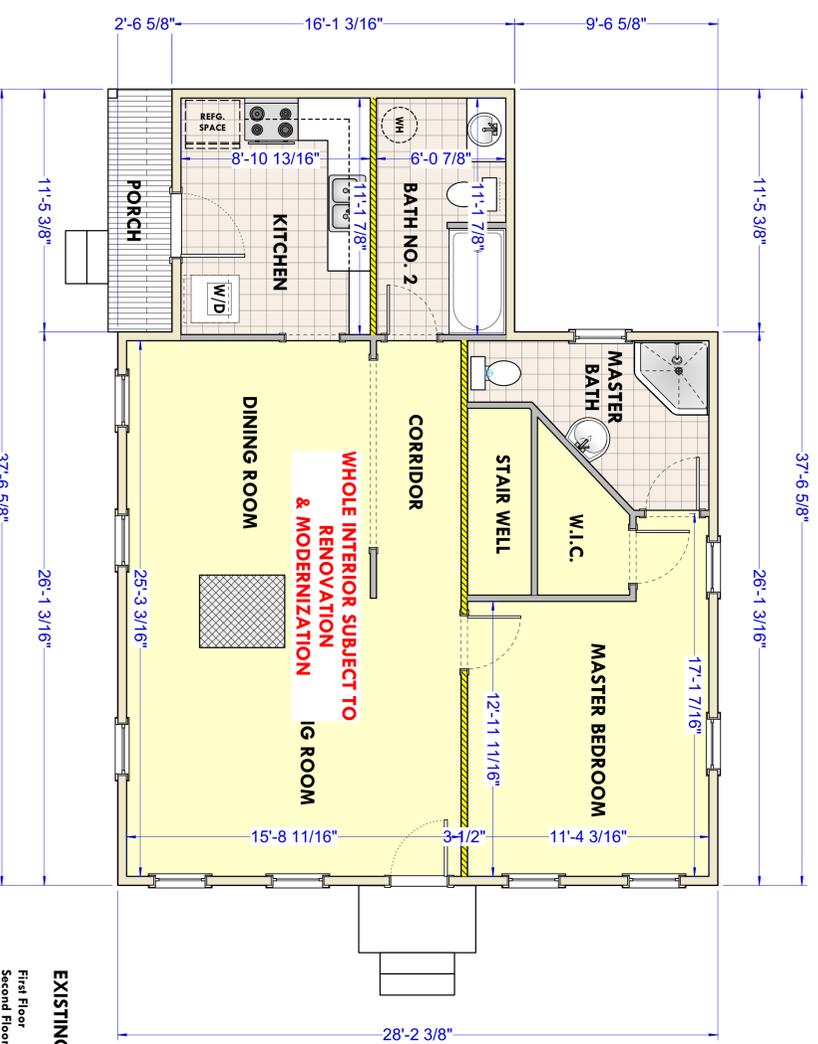
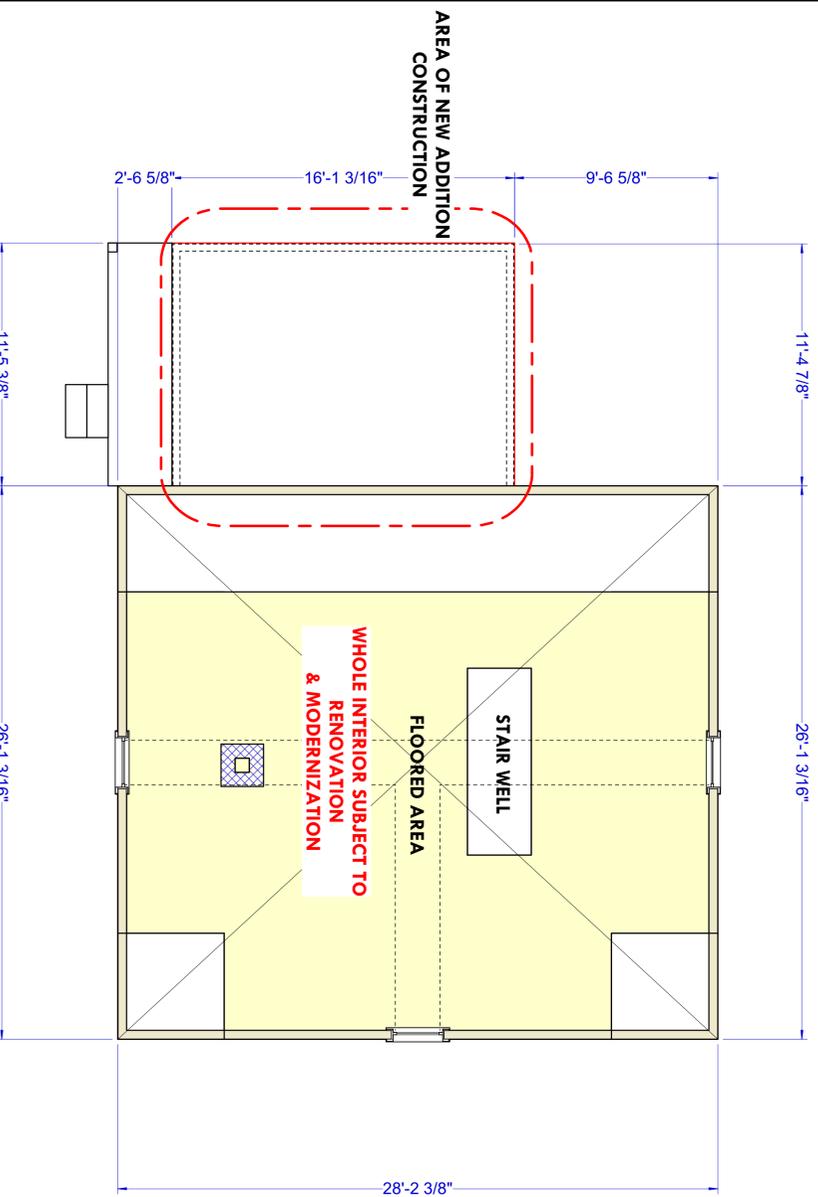
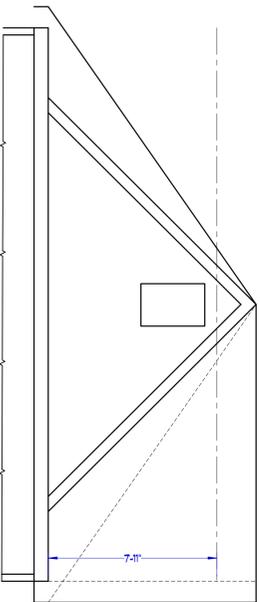
LEFT ELEVATION
SCALE: NONE



REAR ELEVATION
SCALE: NONE



FRONT ELEVATION
SCALE: NONE



EXISTING SQUARE FOOTAGE

First Floor	920.36
Second Floor	522.32
Subtotal	1,442.68
Grand Total	1,442.68
Room Slope	17.49
Room Area	34.35
All dimensions approximate.	

NO.	DATE	DESCRIPTION

PLANS DESIGNED BY:
Monty J. Anderson
MEMBER, AMERICAN INSTITUTE OF BUILDING DESIGN

PLANS PREPARED BY:
MJA DESIGNS, LLC.
Custom Residential Design and Drafting
525 Fayette Quarter, Chesapeake, Va. 23322
Phone/Fax: (757) 547-5366
E-mail: mjad@ex.net
Member American Institute of Building Design

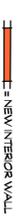
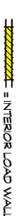
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AS-BUILT & DEMOLITION PLAN FOR BEDROOM ADDITION

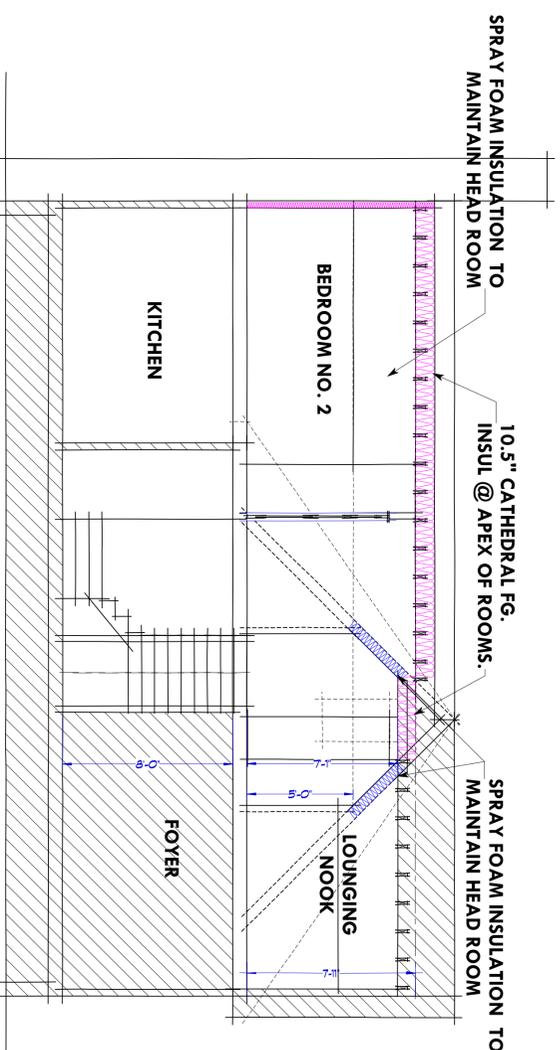
PLANS PREPARED FOR:
ARCHBELL RESIDENCE - ADDITION
120 Wingfield Ave., Chesapeake, VA 23325
BUILDING SITE: 903 Park Ave., Chesapeake, VA 23324

Date: 09/16/18
Scale: NOTED
Drawn: MJA
Checked: MJA
Job: 18-042
Sheet: **A-1**
Of 00 Sheets

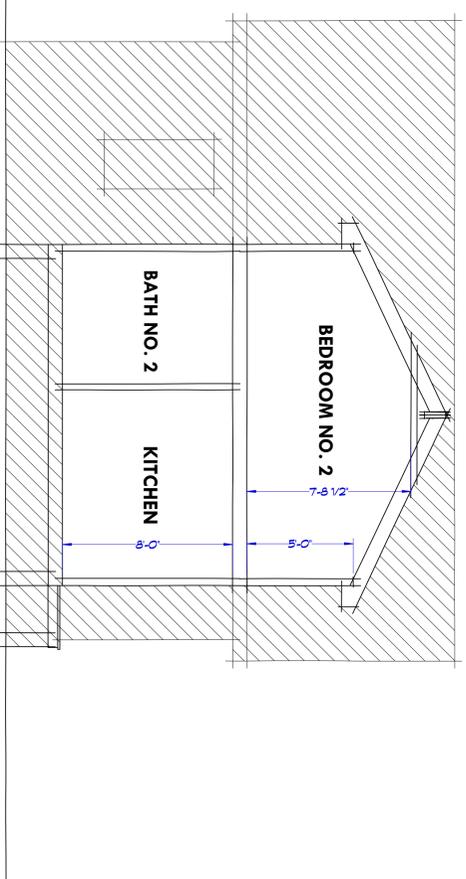
PROGRESS PRINTS - FOR ARCHITECTURAL
REVIEW BOARD

#2 - 10/24/18

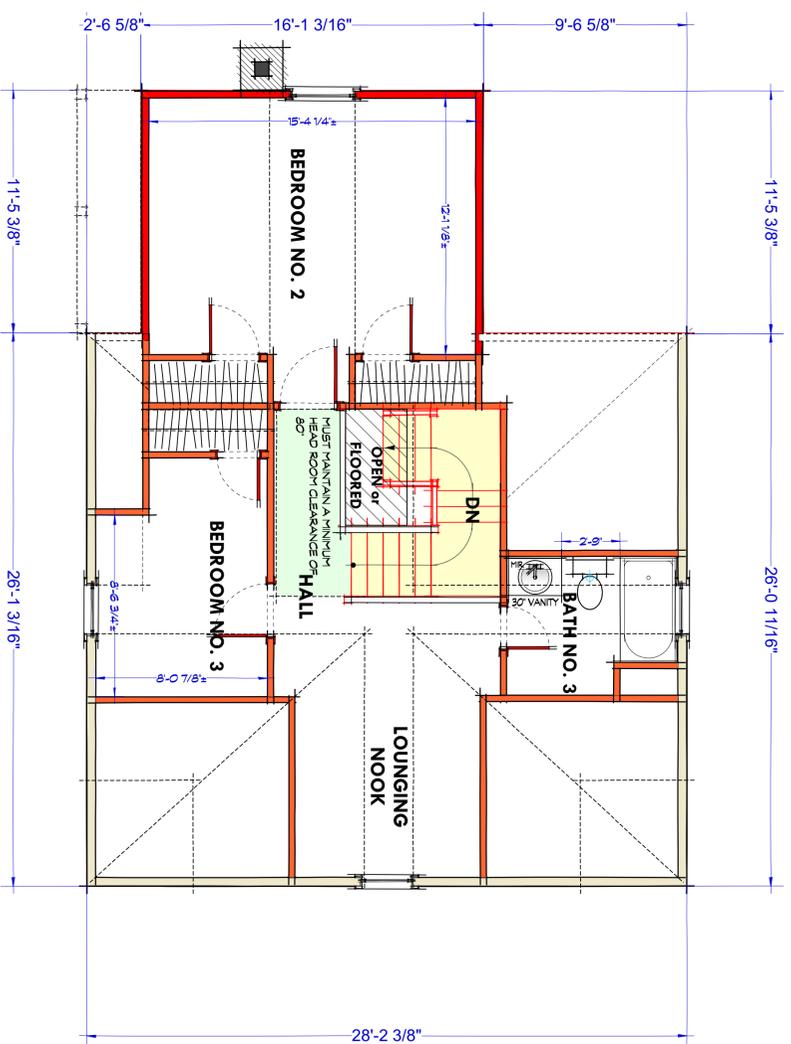
-  = NEW EXTERIOR WALL
-  = NEW INTERIOR WALL
-  = INTERIOR LOAD WALL



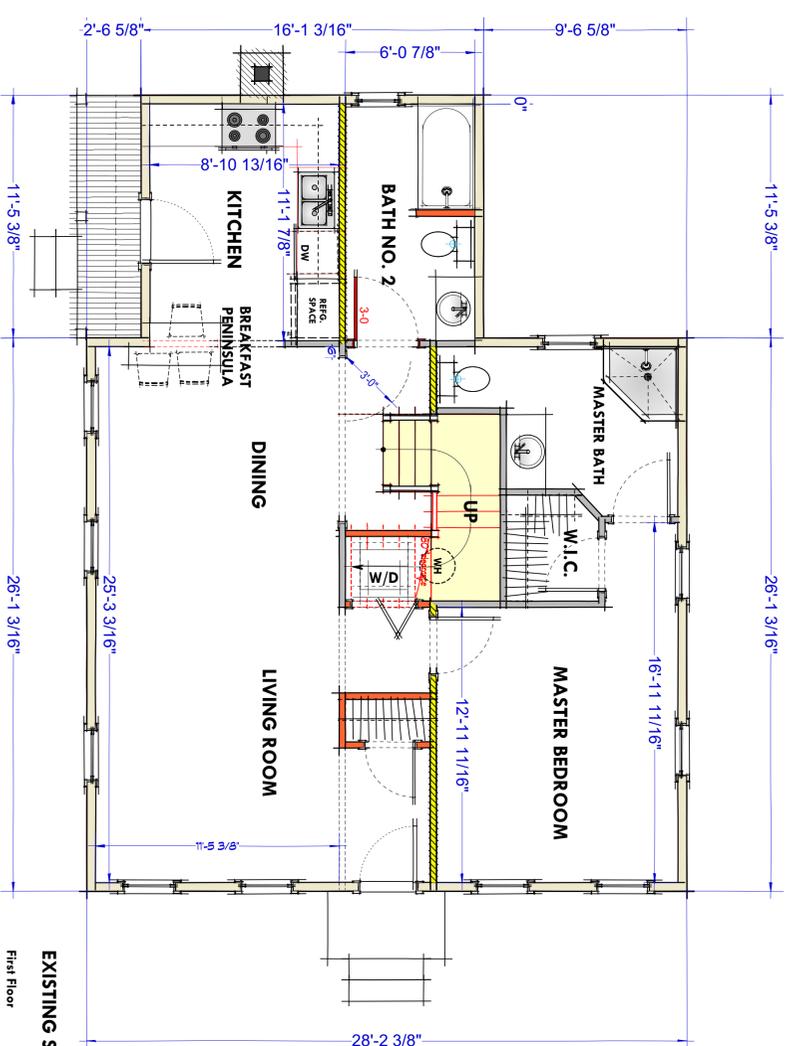
DETAIL 2
Scale: 1/4" = 1'-0"
A-2



DETAIL 1
Scale: 1/4" = 1'-0"
A-3



NEW WORK SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



NEW WORK FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

EXISTING SQUARE FOOTAGE

Subtotal	1,442.68
First Floor	920.36
Second Floor	522.32
Grand Total	1,442.68
Front Porch	17.42
Rear Porch	34.35
All dimensions approximate	

REVISIONS

NO.	DATE	DESCRIPTION

PLANS DESIGNED BY:
Monty J. Anderson
MEMBER, AMERICAN INSTITUTE OF BUILDING DESIGN

PLANS PREPARED BY:
MJA DESIGNS, LLC.
Custom Residential Design and Drafting
525 Fayette Quarter, Chesapeake, Va. 23322
Phone/Fax: (757) 547-5366
E-mail: mjadesigns@cox.net
Member American Institute of Building Design

CONTENT:
FNEW WORK ADDITION FLOOR PLANS

PLANS PREPARED FOR:
ARCHBELL RESIDENCE - ADDITION
120 Wingfield Ave., Chesapeake, VA 23325
BUILDING SITE: 903 Park Ave., Chesapeake, VA 23324

PLANS PREPARED FOR:
ARCHBELL RESIDENCE - ADDITION
120 Wingfield Ave., Chesapeake, VA 23325
BUILDING SITE: 903 Park Ave., Chesapeake, VA 23324

Job No. 18-042
Sheet A-3
Of 00 Sheets

1108 Ohio Street



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#)

Record Status: [Open](#)

File Date: [August 26, 2019](#)

Record Number: [PLN-CAPP-2019-084](#)

Expiration Date:

Description:

Record Name: [Door replacement](#)

[Door replacement](#)

Parent Record Number:

Address: [1108 OHIO ST, CHESAPEAKE, VA 23324](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	LEE HANNAH	1108 OHIO ST, CHESAPEAKE, VA 23324	(858) 832-3286

Parcel Information

Parcel No:
[1270000004210](#)

Contact Information

Name	Organization Name	Contact Type	Phone
Hannah H Lee Address 1108 Ohio st, Chesapeake, VA 23324		Applicant	(858) 832-3286

Application Specific Information

NATURE OF THE APPLICATION

Description	New door will be the same color and general style, but will have a glass window near the top.
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-
Approved Administratively	-
Approving Planner	-
Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-
Board Approved Certificate Number	-

I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application.

Structure Designation -

GENERAL INFORMATION

Year Structure Built 1924

Is this an After-the-Fact application? No

\$250 After the Fact fee, if required. UNCHECKED

One original delivered to the Planning Department OR a copy attached to the on-line application UNCHECKED

One disk containing all photos OR photos attached to on-line application UNCHECKED

Completed and notarized power of attorney form if the applicant is not the property owner. UNCHECKED

NEW CONSTRUCTION

Completed application form. UNCHECKED

Surveyed site plan (including proposed buildings, structure(s), parking, etc.). UNCHECKED

Front and side elevations UNCHECKED

Samples UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Photographs of the property and adjoining or opposite properties. UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form. UNCHECKED

Surveyed site plan or city tax map UNCHECKED

Elevations UNCHECKED

Photographs of the existing structure and property. UNCHECKED

Samples, photos, and brochures UNCHECKED

Arrangement of proposed exterior lighting. UNCHECKED

Proposed signs with appropriate detail as to character and location. UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form. CHECKED

Written description of work to be performed CHECKED

Photographs of the building/structure. CHECKED

2 quotes each are required for the following: UNCHECKED

Photos numerically keyed UNCHECKED

RELOCATIONS

Completed application form UNCHECKED

Photographs of the building or structure to be relocated UNCHECKED

and adjacent properties.

- Photographs of the premises to which the building or structure will be relocated. UNCHECKED
 - Written description of reasons for the relocation and the proposed use of the vacated property. UNCHECKED
-

DEMOLITIONS

- Completed application form UNCHECKED
 - Photographs of the building or structure to be demolished to illustrate its state of disrepair. UNCHECKED
 - Written report on condition of building or structure. UNCHECKED
 - Written description of work to be performed UNCHECKED
-

METAL ROOFS

- Explanation UNCHECKED
-

SPECIAL POWER OF ATTORNEY

- Special Power of Attorney attached UNCHECKED
-

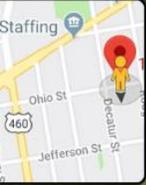
METAL ROOFS

- Info required to replace metal roof with metal roof. UNCHECKED
 - Picture UNCHECKED
 - Specification Sheet UNCHECKED
 - Roof color sample UNCHECKED
 - Info required to replace metal roof with architectural shingles. UNCHECKED
 - Quotes UNCHECKED
 - Roof color sample (asphalt) UNCHECKED
-



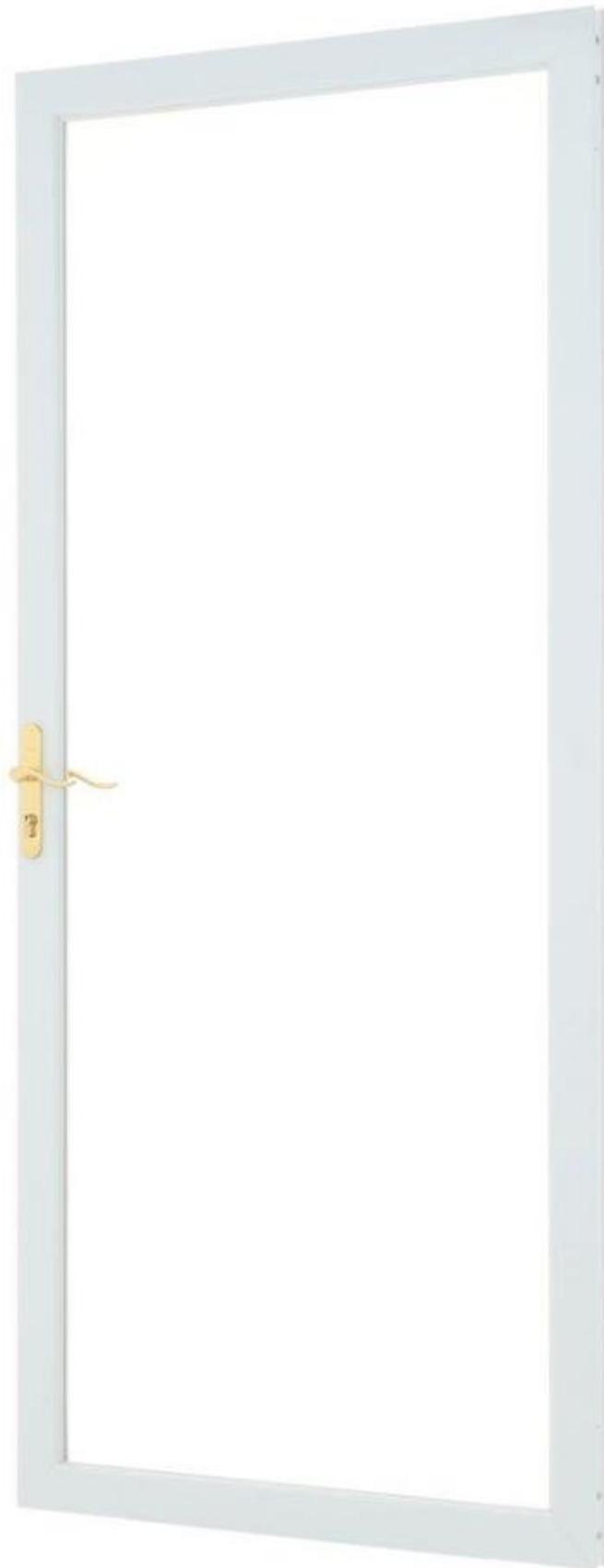


1108 Ohio St
Chesapeake, Virginia
Google
Street View - Jun 2018



Google





1416 Chesapeake Avenue

Chesapeake VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____

(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1416 Chesapeake Ave 23324

2. Year Structure Built (or write "new construction"): Circa 1900

3. Applicant(s): Renee & Jerry Waters

Address: 1416 Chesapeake Ave

City: Chesapeake State: VA Zip: 23324

Daytime Phone: 757-967-4701 ^{Renee Cell} FAX Number: 757-818-1201 ^{Jerry}

E-mail address: waters04@cox.net

4. Owner: (If different from applicant)

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

Signature of Applicant/Agent & Date: Renee Waters 9/9/19

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

- 1- Cover Asbestos shingles with dutch lap siding.
- 2- Remove jalousie windows replace with siding and 1 window in front of house 2 windows on side
- 3- Cover window on back left side of house with siding
- 4- Cover/replace porch stoop & steps with vinyl railing and composite steps. 5. Replace columns with composite columns.

For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES _____ NO _____

6. Will you be applying for consideration of a financial hardship determination? (please ✓all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES _____ NO _____

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____ (Date) by _____ (Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES _____ NO _____

If application needs to go to Board, please provide the date of the next meeting _____ (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, _____, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.



Right side



1416 Chesapeake Ave
Renee & Jerry Waters
waters04@cox.net

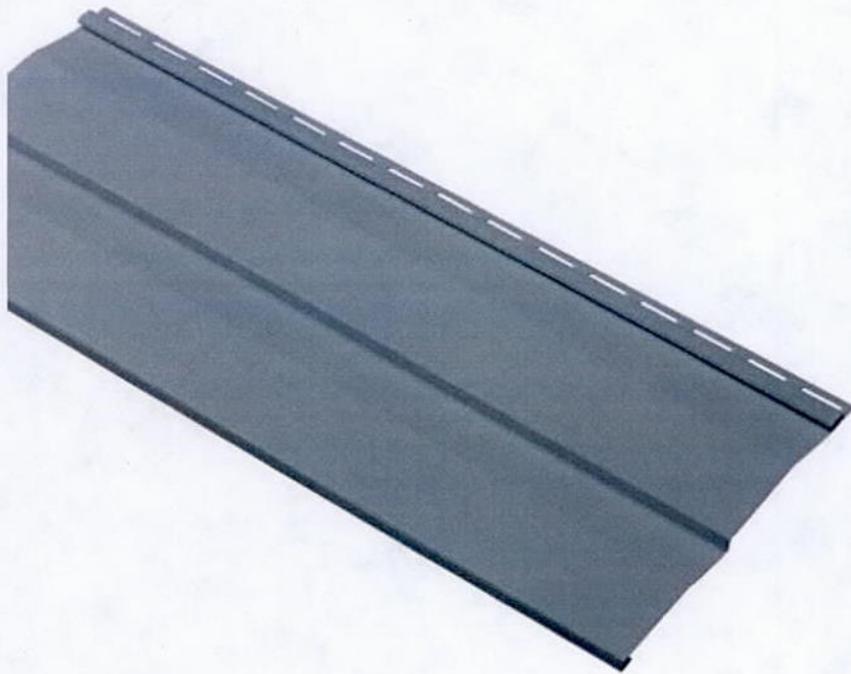


Will be wrapped in white on all four sides of the house

Columns replaced with identical only in composite material

All trim will be white

White trim
with

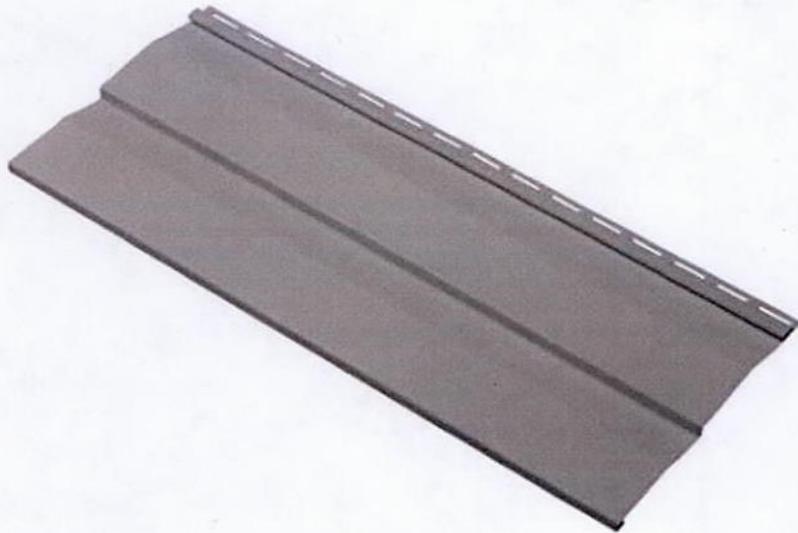


"Willow" Dutch Lap from
Home Depot

Similar to Kennebunkport green
Benjamin Moore color

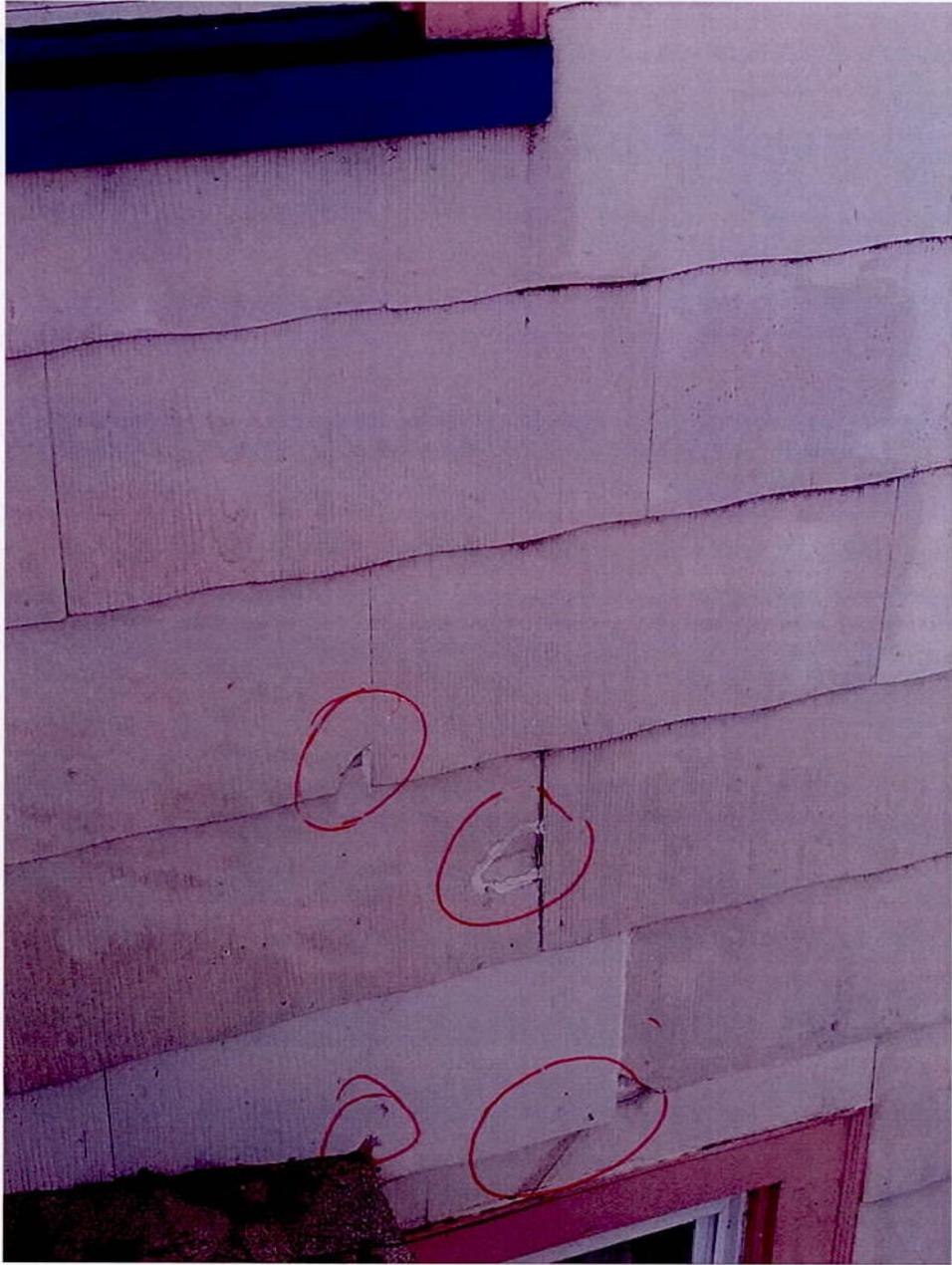
Undecided on color one of these

White trim
with



Khaki Dutch lap "Home Depot"
Similar to Shaker Beige
Benjamin Moore color

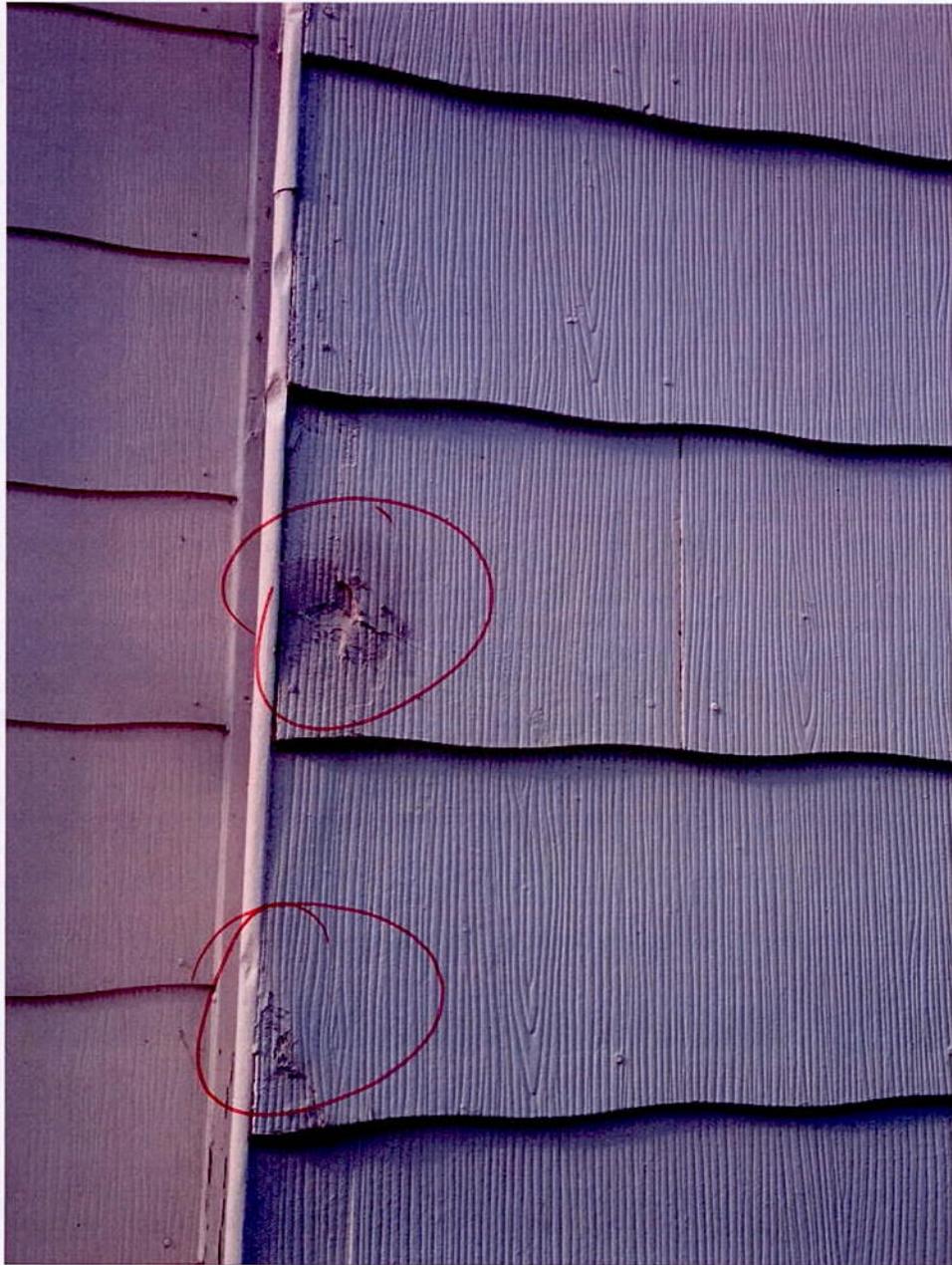
undecided on color one of these



Top back of house



left side of house



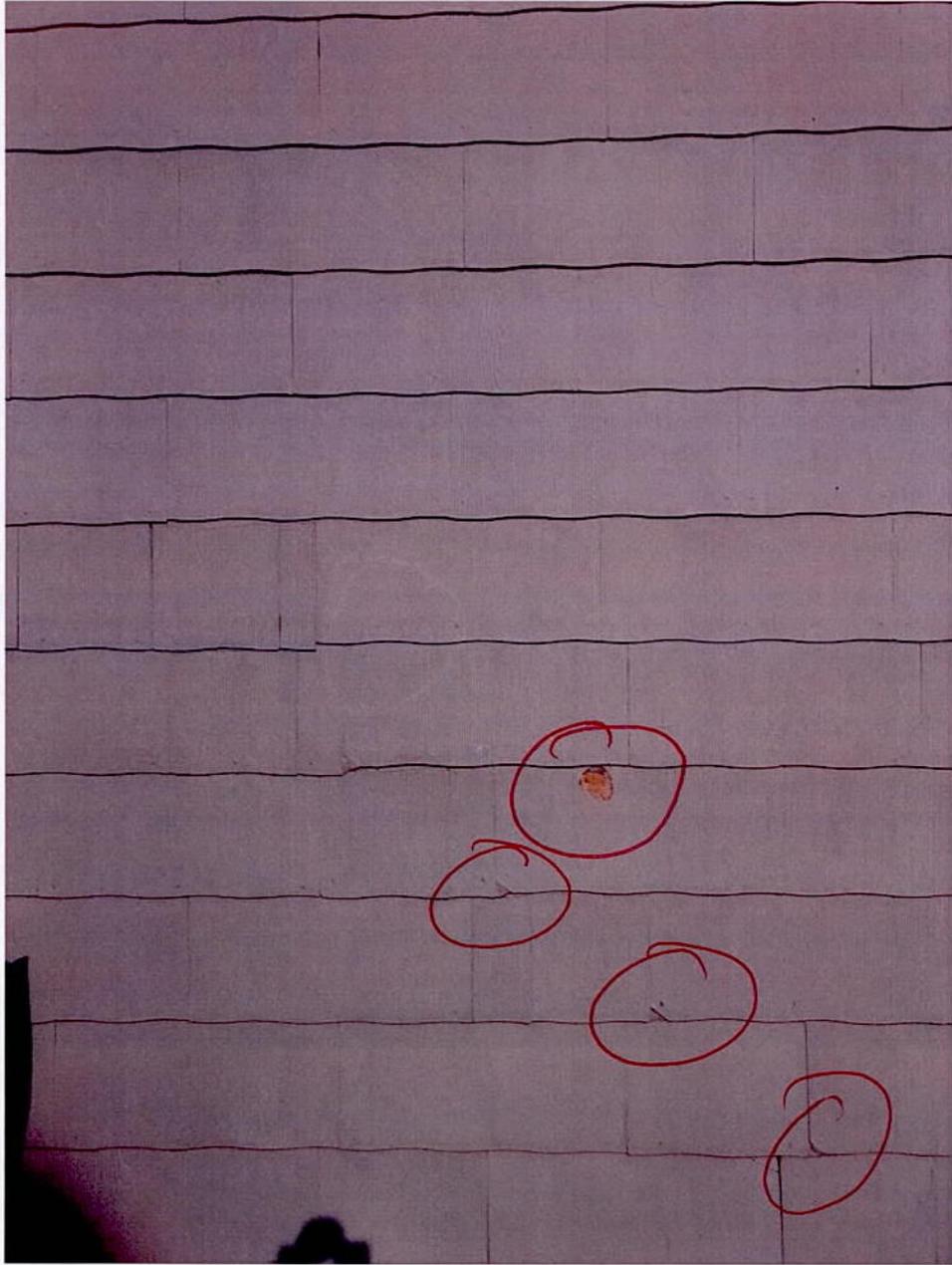
Left side of house



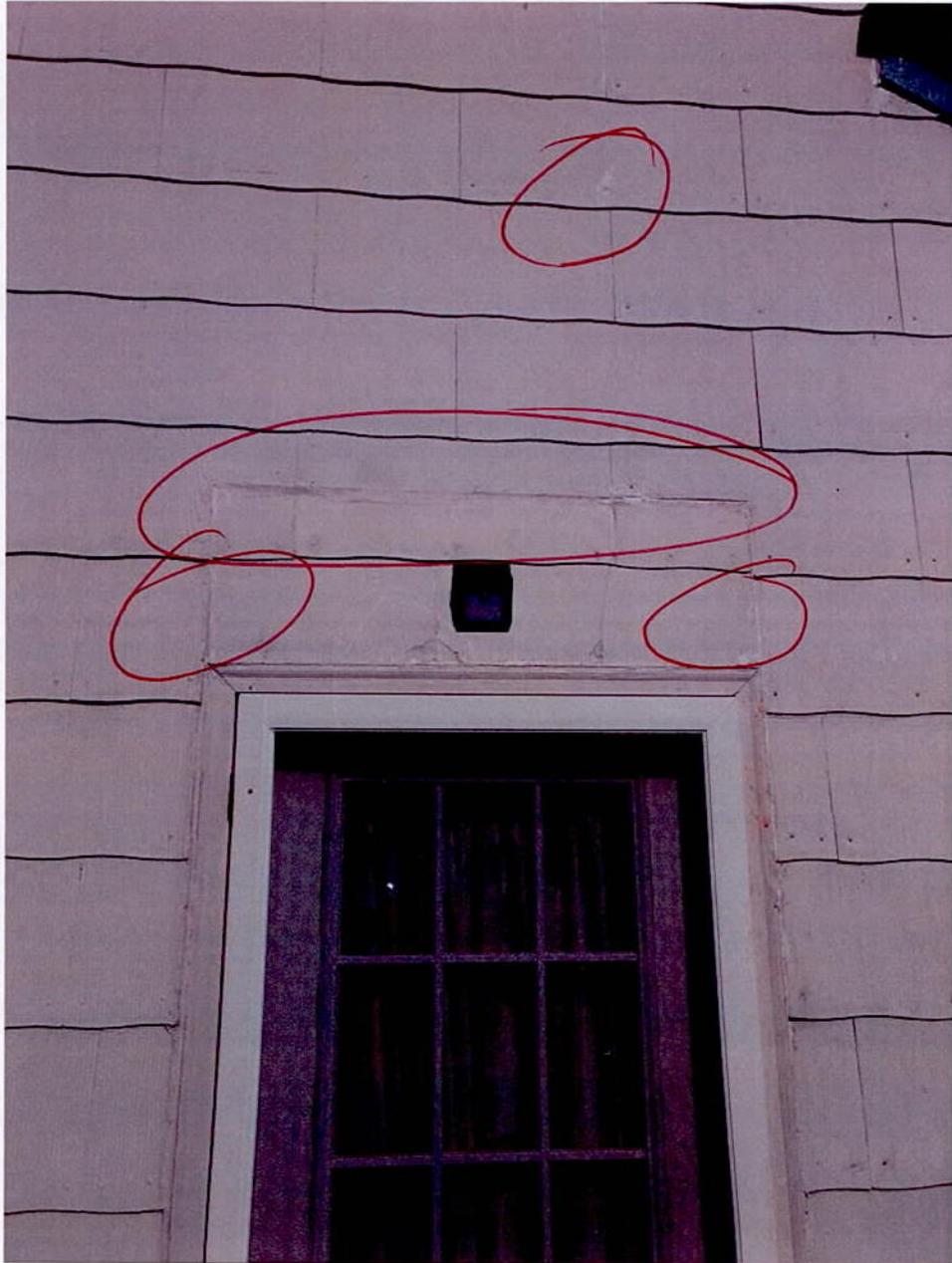
Left side



Back of house



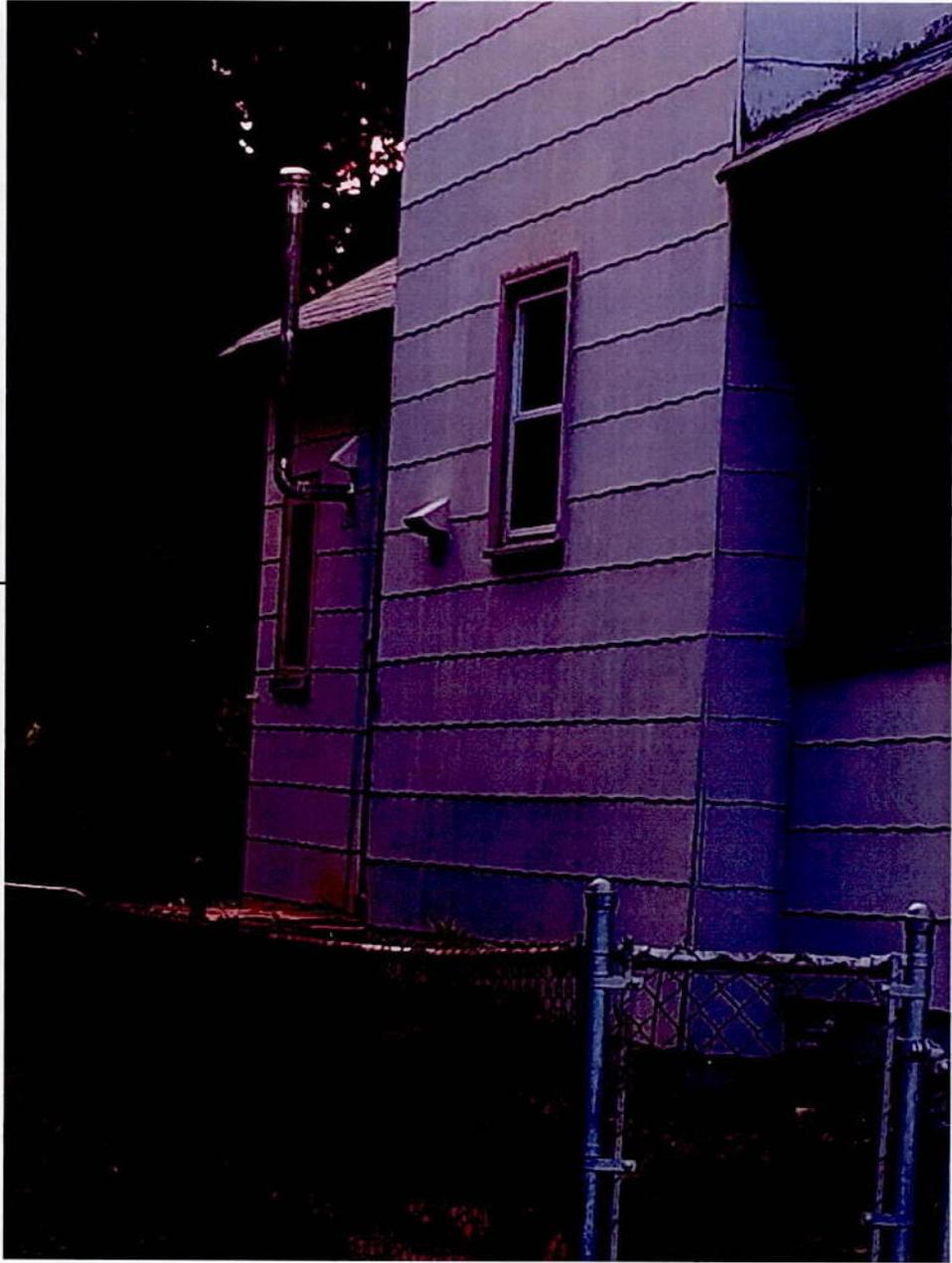
Back of house



Back side



Window (in a closet inside house)
to be covered with siding
Left side of house



Window
from
Street
View



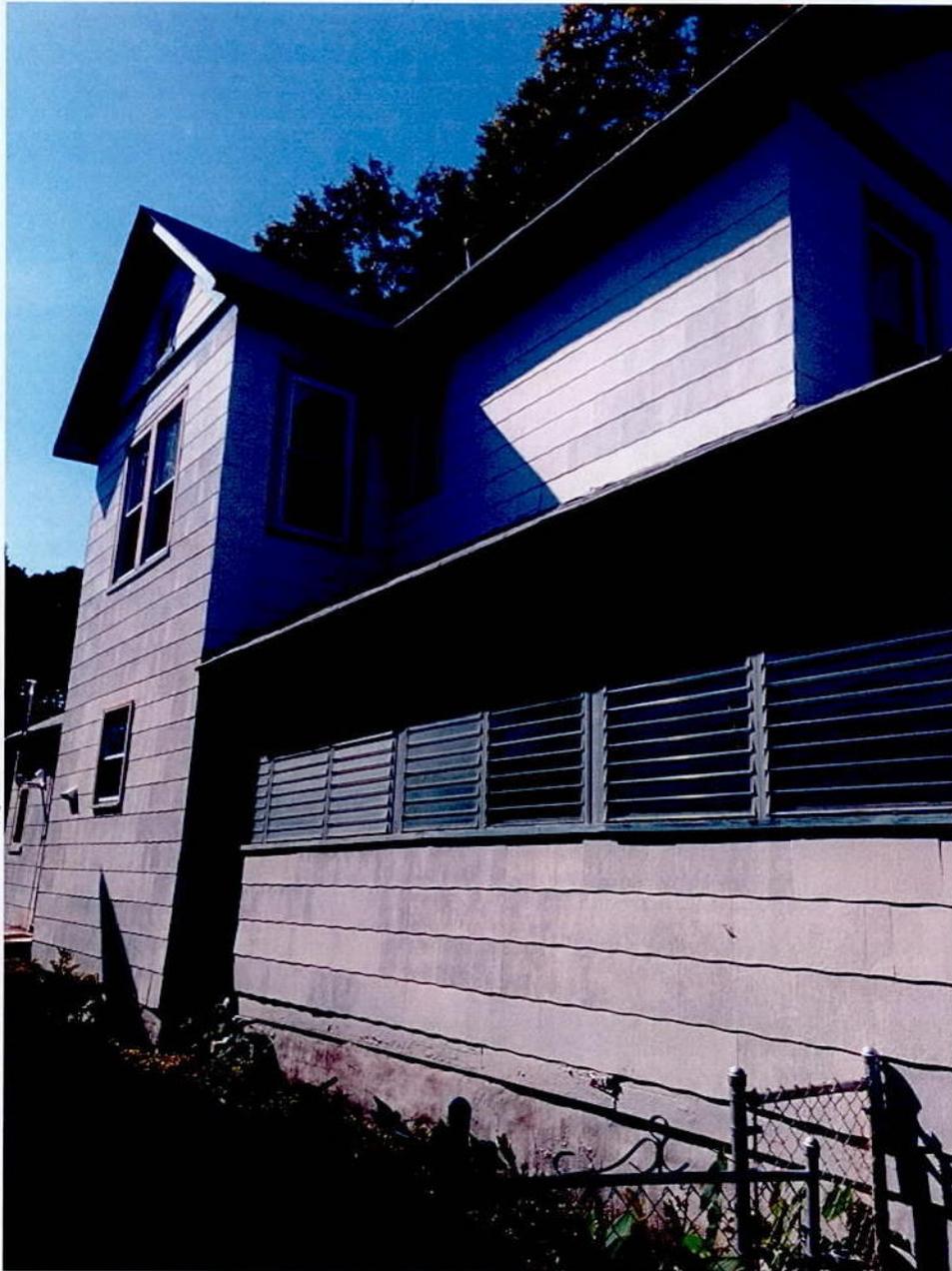
Right side



Right side



Right side



Window
to be
covered

Left side 2 equally spaced
windows 30 x 52 2 over 2

that should be 32 X 50 RAWaters



Left side

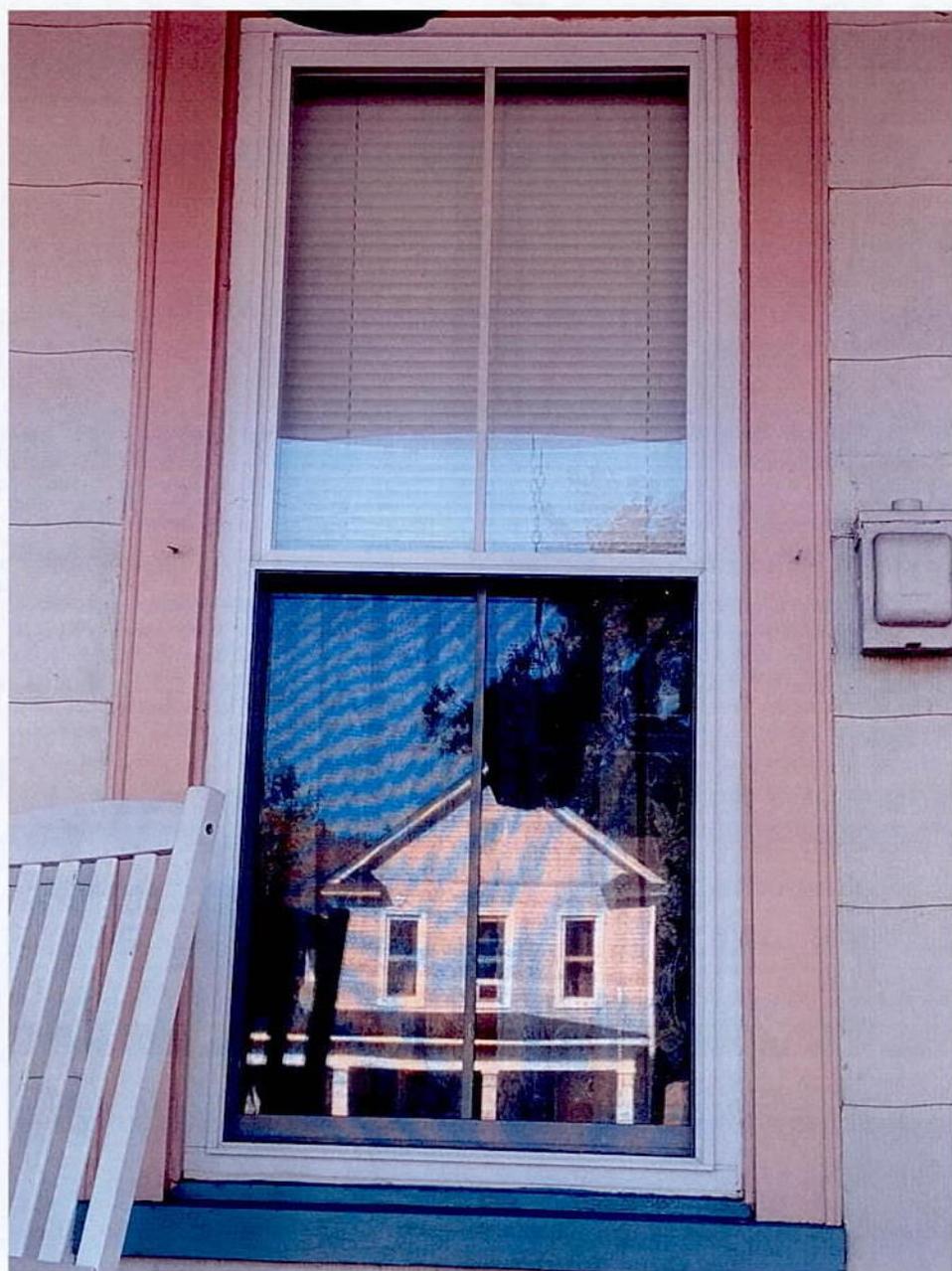
replace
below with
same
2 over 2

2 WINDOWS
ON side

One on
front



Jalousie windows to be replaced
with 3 windows and siding.



2 over 2
identical window
to replace 3 windows
in lieu of false windows



missing window crank



missing window crank

2 more windows just like
this. All the pictures looked
the same



Broken window



Windows are not completely closed.

Windows not completely
closed.
Broken glass





Broken glass
Windows won't close



Steps on left side of house
Replace/cover with stoop/stairs
same size with composite deck
boards and vinyl railing



Side view of steps

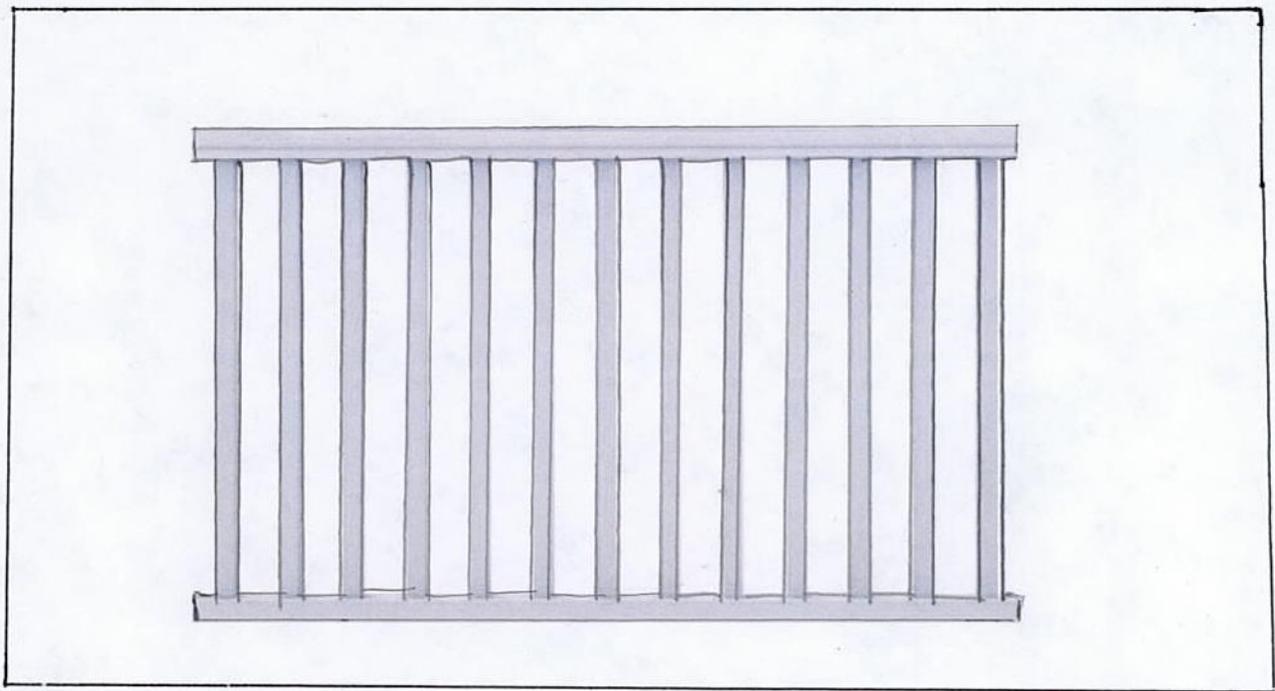


top view of steps



decking for porch
stoop & stairs on left
side

"Veranda" at Home Depot



White vinyl railing
for stoop/stairs

Lowes

Turncraft 96-in x 8-ft Unfinished Fiberglass Round Column



Round column
in white

1115 Park Avenue

Chesapeake VIRGINIA

Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1115 PARK AVE. 23324

2. Year Structure Built (or write "new construction"): 1924

3. Applicant(s): DEBORAH ROUNTREE

Address: 9611 16TH VIEW ST.

City: NORFOLK State: VA Zip: 23503

Daytime Phone: 648-0999 FAX Number: 390-3939

E-mail address: DROUNTREE@ROSCAUNDWOMBLE.COM

4. Owner: (If different from applicant)

Name: SAME

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

Signature of Applicant/Agent & Date: _____

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

- ① Replace/INSTALL NEW VINYL SIDING
- ② WRAP TRIM / TRIM BOARDS WITH VINYL (excluding ginger Bread trim front porch & Bead Board Porch Ceiling)
- ③ Replace WINDOWS

For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES _____ NO _____

6. Will you be applying for consideration of a financial hardship determination? (please ✓all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES _____ NO _____

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____ (Date) by _____ (Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES _____ NO _____

If application needs to go to Board, please provide the date of the next meeting _____ (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, _____, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.

Alterations or Repairs

- Completed application form.
- Written description of work to be performed accompanied by samples, photos, or brochures of siding, brick type, roof shingles, paint chips doors, windows, and similar facilities for review.
- Photographs of the building/structure.
- 2 quotes** each Virginia licensed contractors are required for the following: a.) to repair an original material; b.) to replace the original material (except asbestos) with the same material; and, if applicable, c.) to replace the original material with a like or similar material (Also, see special instructions for metal roofs).
- If photos are utilized to demonstrate the need for an alternate material, they must be detailed and numerically keyed to the location on the house utilizing the elevation views of the front, back, rear and side. An ice pick test is useful to demonstrate rotten wood. If deterioration is difficult to prove through pictures or you do not choose to conduct an ice pick test, then a non-biased Virginia licensed architect, engineer, building forensic specialist, or home inspector, certified by the Virginia Board for Asbestos, Lead, and Home Inspectors, shall certify that the element is beyond repair. This individual may not be the contractor making the repairs.

*Will provide photo's and bring material sample
to meeting - please advise where to email pictures*

Relocations

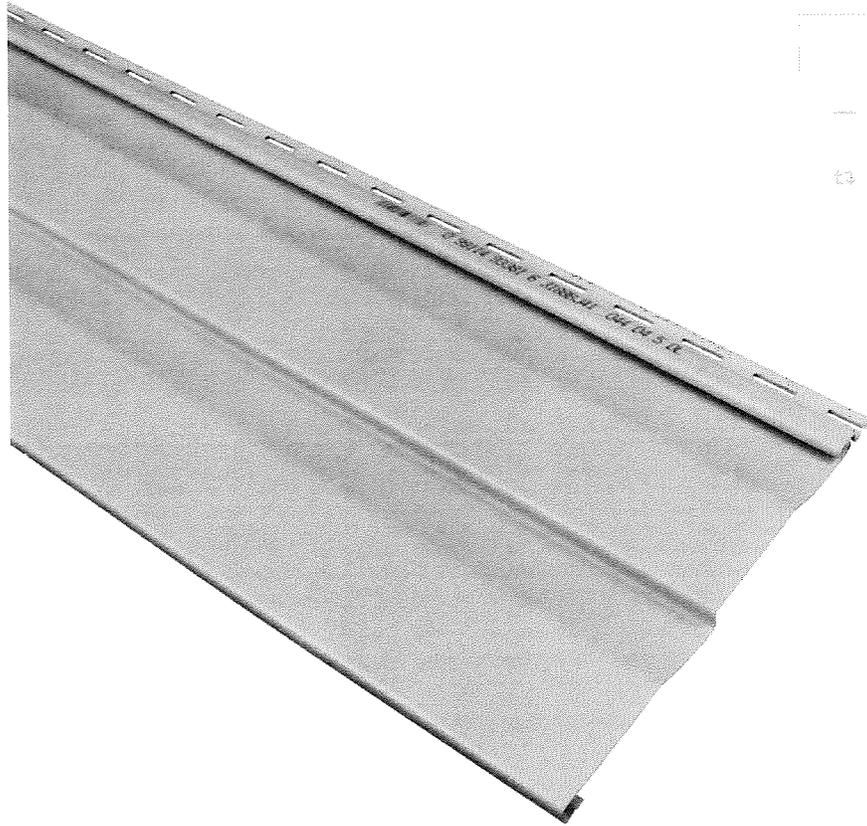
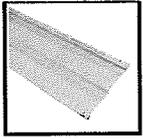
- Completed application form
- Photographs of the building or structure to be relocated and adjacent properties.
- Photographs of the premises to which the building or structure will be relocated.
- Written description of reasons for the relocation and the proposed use of the vacated property.

Demolitions

- Completed application form
- Photographs of the building or structure to be demolished to illustrate its state of disrepair.
- Written report from Department of Development and Permits relative to the condition of the building or structure.
- Written description of any building or structure to remain and any new building or structure proposed to replace the demolished building or structure.

Prices, promotions, styles, and availability may vary.

Georgia-Pacific Compass Wedgewood Double 4.5 Dutch Lap Vinyl Siding X



Wedgewood -siding

WHITE TRIM -



FREE Store Pickup



Shipping

Available

Unavailable for Pickup at Virginia Beach Lowe's

CHAT WITH LOWE'S







