

South Norfolk  
Historic & Architectural Review Board



May 2, 2019





## **AGENDA**

**Board of Historic and Architectural Review**

**May 2, 2019**

**Portlock Galleries at SoNo**

**3815 Bainbridge Blvd.**

**5:30 PM**

- A. Call To Order
- B. Roll Call
- C. Approval of the March 7, 2019 and April 4, 2019 regular meeting minutes.
- D. Consent Agenda
- E. Regular Agenda
  - 1. 1225 Jackson Avenue**  
Install concrete driveway.
  - 2. 1312 Seaboard Avenue**  
Replace metal roof with architectural grade asphalt shingles.
- F. Old Business
- G. New Business
  - 1. Elections**
- H. Committee Reports
- I. Zoning Inspection Status Report
- J. Legal Guidance
- K. Administrative Approvals
- L. Citizen Input
- M. Adjournment

The City of Chesapeake will provide reasonable accommodations and services necessary for sensory-impaired and disabled persons by contacting Mr. Tim Winslow, Facilities Manager, Public Works at 382-6273 at least three-working days in advance and language assistance to individuals with limited English proficiency to the extent possible by contacting the Planning Department at 382-6176 at least 10 days in advance of this meeting. \*While this is not a public hearing, the public and any one or several members of the Chesapeake City Council may choose to attend.



**Meeting Minutes**  
**Historic and Architectural Review Board (HARB)**  
**March 7, 2019**  
**Portlock Galleries at SoNo – 3815 Bainbridge Blvd.**

**ROLL CALL**

**HARB Members Present:** Rich Wethington – Chair; Ed Conner; Ellsworth Spicher; Joe Maguire; Scott Davis; and David Schleeper.

**Staff:** Richard Hartwick, Legal Counsel – City Attorney’s Office; Carlos Rodriguez – Development and Permits, Code Compliance Division; Nathen Lamb – Recording Secretary, Planning Department.

Chair Wethington called the meeting to order at 5:36 p.m.

**MINUTES**

Approval of the February 7, 2019 regular meeting minutes were approved with no amendments. Approval of the February 21, 2019 special meeting minutes were approved with one (1) amendment.

**REGULAR AGENDA**

**1331 Seaboard Avenue**

Original Request

- Repair/repaint metal roofs gray, and add 2-over-12 pitch/slope over the kitchen at the rear of the house, applicant to demo rear chimney and salvage front chimney, replace garage doors with white raised panel doors with four (4) windows, replace windows on front of home with two-over-one white vinyl windows and all other windows with one-over-one white vinyl windows, install vented style shutters in Black HC-190, repaint siding in Chelsea Gray HC-168 (repaint garage same color), repaint awning white, paint brick foundation HC-168, repair/repaint fascia and soffits in rear of home over laundry room – like for like, remove screen porch and salvage columns and wrap with metal, repaint porch, paint brick columns, skirt, and brick foundation HC-168, ***motion to approve application as amended made by R. Wethington, and seconded by E. Spicher, four (4) members voting yes, and one (1) member voting no.***

**1516 Chesapeake Avenue**

Original Request

- Replace roof with Pewter Gray architectural grade asphalt shingles, demolish porch walls to restore to original elevations and salvage columns (repair rotten wood at bases and paint white), replace siding with vinyl siding in Hale Navy HC-154 and save wood siding on front of home (at a minimum) and paint Hale Navy, paint foundation Hale Navy, replace all windows with one-over-one white vinyl windows, replace existing door with inset panels door, and replace/repair existing fencing with dog ear pine fence, applicant to return next month for front porch railings ***motion to approve application as amended made by R. Wethington, and seconded by J. Maguire, four (4) members voting yes, and one (1) member voting no.***

**1222 Jackson Street**

Original Request

- Applicant amends application to repaint existing metal roof like for like and repair flashing around chimney, paint foundation and front porch steps gray HC-167/168 (wrap columns in white, paint bottom half gray), replace front windows with three-over-one white vinyl windows, (applicant to return next month for attic window), replace all rusted wrapping around home like for like, paint door Black HC-190, ***motion to approve application as amended made by R. Wethington, and seconded by S. Davis, all members present voting yes.***

**Old Business**

None

**New Business**

None

**Committee Reports**

None

**Zoning Inspection Status Report**

None

**Legal Guidance**

None

**Administrative Approvals**

N. Lamb reported five (5) administrative approvals – all like for like.

**Public Input**

None

**ADJOURNMENT:** The regular meeting adjourned at 7:06 p.m.

**MEETING MINUTES APPROVED:** \_\_\_\_\_

DRAFT



**Meeting Minutes**  
**Historic and Architectural Review Board (HARB)**  
**April 4, 2019**  
**Portlock Galleries at SoNo – 3815 Bainbridge Blvd.**

**ROLL CALL**

**HARB Members Present:** Marilee Peterson – Vice Chair, Scott Davis; and David Schleeper.

**Staff:** Meredith H. Jacobi, Legal Counsel – City Attorney’s Office; Carlos Rodriguez – Development and Permits, Code Compliance Division; Nathen Lamb – Recording Secretary, Planning Department.

Vice Chair Peterson called the meeting to order at 5:32 p.m.

**MINUTES**

Approval of the March 7, 2019 regular meeting minutes were not approved and were moved to next month’s agenda for approval at the regularly scheduled meeting in May.

**REGULAR AGENDA**

**1222 Jackson Street**

Original Request

- Replace attic window with white PVC three piece glass window; Board members find that the proposed replacement window is not consistent with the City adopted design guidelines, ***motion to deny application as submitted made by S. Davis, and seconded by D. Schleeper, all members present voting yes.***

**1516 Chesapeake Avenue**

Original Request

- Install porch railing with pickets enclosed in cover boards and paint white, cover entire home in 4.5” dutchlap vinyl siding in Hale Navy HC-154, ***motion to approve application as submitted made by S. Davis, and seconded by D. Schleeper, all members present voting yes.***

**1420 Rodgers Street**

Original Request

- Paint house HC-145 Van Courtland Blue, install 20’x21’ metal garage, (paint to match HC-145 as close as possible), install window enclosures at top and bottom of sun rooms, replace all one-over-one windows with new double hung one-over-one white vinyl windows, and replace existing chain-link fence with dog ear fence, ***motion to approve application as submitted made by D. Schleeper, and seconded by S. Davis, all members present voting yes.***

**Old Business**

None

**New Business**

Board discussed upcoming annual elections in May and has continued appointing a Chair to the regularly scheduled meeting in May.

**Committee Reports**

None

**Zoning Inspection Status Report**

None

**Legal Guidance**

The Zoning Administrator has made a determination to require the upstairs porch at 1100 Jackson Avenue to be demolished which has been deemed unsafe under the Virginia Uniform Statewide Building Code.

**Administrative Approvals**

N. Lamb reported seven (7) administrative approvals – all like for like, which include two (2) After-the-Fact applications.

**Public Input**

None

**ADJOURNMENT:** The regular meeting adjourned at 6:38 p.m.

**MEETING MINUTES APPROVED:** \_\_\_\_\_

DRAFT

1225 Jackson Avenue



**Application for Certificate of Appropriateness**

**CHESAPEAKE PLANNING DEPARTMENT**

**APPLICATION NUMBER:** \_\_\_\_\_  
*(Assigned by Chesapeake Planning Department)*

**1. Address/Location of Project:** 1225 Jackson Ave

**2. Applicant(s):** Samantha / Justin Keyes

Address: 1225 Jackson Ave

City: Chesapeake, VA State: VA Zip: 23324

Daytime Phone: [REDACTED] FAX Number: \_\_\_\_\_

E-mail address: [REDACTED]

**3. Owner:** (If different from applicant)

Name: \_\_\_\_\_

Address: SAME

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_ FAX Number: \_\_\_\_\_

E-mail address: \_\_\_\_\_

Signature of Applicant/Agent & Date: [REDACTED] 4.18.2019

**4. Nature of the Application** (add additional typed sheets if necessary):

Currently have a dirt driveway that floods to the point we cannot access garage. We will be laying concrete.

5. For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES \_\_\_\_\_ NO X

6. For replacement of a historic material roof with an architectural shingle roof, will you be applying for consideration of an economic hardship? YES N/A NO \_\_\_\_\_

**Planning Staff to Complete:**

Is the Application After the Fact? YES \_\_\_\_\_ NO X

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval \_\_\_\_\_ (Date) by \_\_\_\_\_ (Planner Name)

Certificate Number \_\_\_\_\_.

Determination of the Economic Hardship Committee if the applicant has applied for the replacement of a metal roof or historic material roof with architectural shingles YES \_\_\_\_\_ NO \_\_\_\_\_

If application needs to go to Board, please provide the date of the next meeting MAY 2 (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number \_\_\_\_\_.

If application goes to Board, have the applicant complete the following:

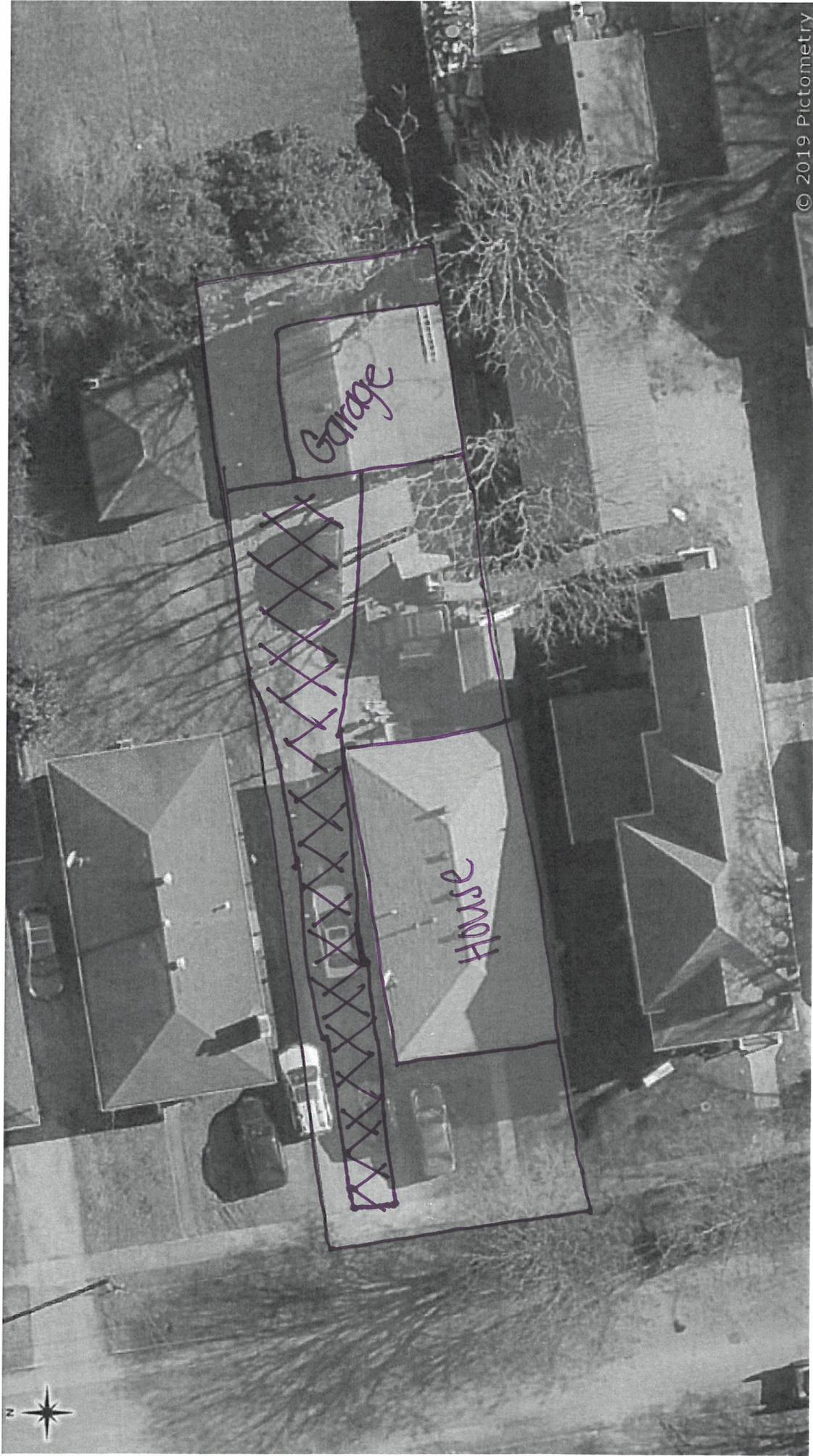
I, Samantha Keyes, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural

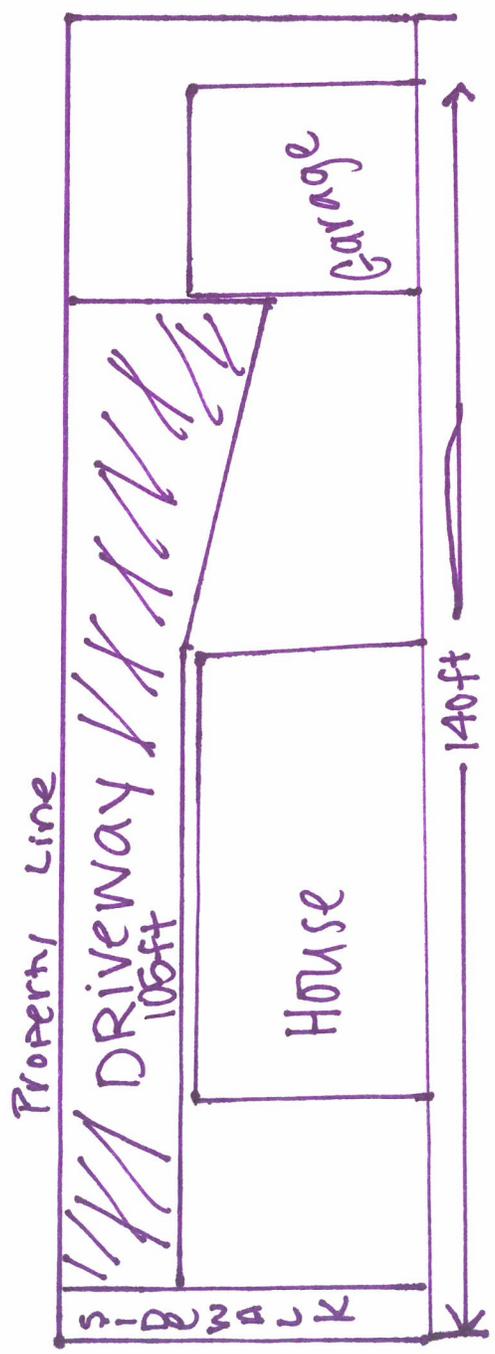
*Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.*

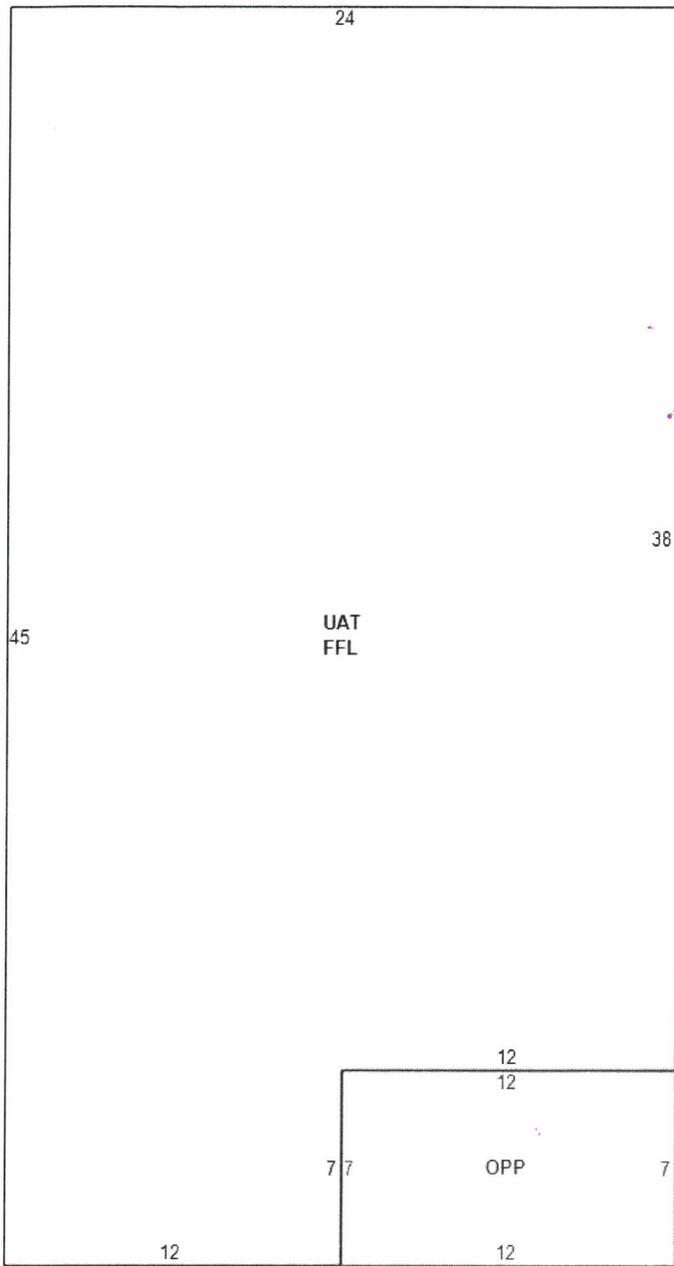
[ ] = property boundary  
[XXX] : Driveway, concrete to be  
laid

house2



1 in = 20 ft





2 1/4 in = 45 feet  
1 in = 20 feet

1312 Seaboard Avenue

# Chesapeake VIRGINIA

## Application for Certificate of Appropriateness

### CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: \_\_\_\_\_

(Assigned by Chesapeake Planning Department)

1. Address/Location of Project: 1312 Seaboard Ave Chesapeake VA 23324

2. Year Structure Built (or write "new construction"): 1924

3. Applicant(s): AQ Contracting, LLC

Address: 992 First Colonial Rd

City: Virginia Beach State: VA Zip: 23454

Daytime Phone: [REDACTED] FAX Number: [REDACTED]

E-mail address: [REDACTED]

4. Owner: (If different from applicant)

Name: Pamela Ibanez

Address: 1312 Seaboard Ave Ch

City: Chesapeake State: VA Zip: 23324

Daytime Phone: [REDACTED] FAX Number: \_\_\_\_\_

E-mail address: [REDACTED]

✓ Signature of Applicant/Agent & Date: [Signature]

5. Detailed Description of Scope of Work (add additional typed sheets if necessary):

Change from Metal Roof to Shingle  
Roof. More cost efficient

6. For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES \_\_\_\_\_ NO

7. Will you be applying for consideration of a financial hardship determination? (please  all that apply) N/A

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

**Planner Staff to Complete:**

Is the Application After the Fact? YES \_\_\_\_\_ NO \_\_\_\_\_

If so, request payment of \$250 fee.

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval \_\_\_\_\_ (Date) by \_\_\_\_\_ (Planner Name)

Certificate Number \_\_\_\_\_

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES \_\_\_\_\_ NO \_\_\_\_\_

If application needs to go to Board, please provide the date of the next meeting \_\_\_\_\_ (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number \_\_\_\_\_

If application goes to Board, have the applicant complete the following:

I, \_\_\_\_\_ hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

Certificate of Appropriateness Application  
Initial/Date \_\_\_\_\_

July 21, 2016

*I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.*

A O CONTRACTING LLC  
 992 FIRST COLONIAL ROAD  
 VIRGINIA BEACH, VA  
 23454

Telephone: [REDACTED]

NORFOLK BRANCH  
 BEST DISTRIBUTING  
 1301 PRODUCTION ROAD  
 NORFOLK, VA

23502

FAX COPY

QUOTATION

Telephone: [REDACTED]  
 Bid expires on 05/22/19

4/22/19

Bid ID: 6729370 1312 SEABOARD AVE, CHESAPEAKE, 23324

Page 1

Line No.	Qty Ordered	Sell Per	Description	Price Per	Net Price	Extended Price
10	45		BDL TAM FD HERITG AR M WTHR WOOD L4 31002909 FREDERICK METRIC 3BDL/SQ	25.0000	BDL	1,125.00
20	3		BDL TAM FD H&R AR WEATHERED WOOD 30000745 FREDERICK 12X12 33LFT/BDL BROWN WRAPPER	46.0000	BDL	138.00
30	3		BDL TRI PERFORATED SHINGLE STARTER 6 5/8" X 39 3/8" 105LF/BDL 31003532 72BDL/PALLET	44.0000	BDL	132.00
40	4		RL TRI F 15# FELT ASTM 4869 36X144 TB-9F42 432SF	17.8000	RL	71.20
50	45		PC OSB 7/16" 4X8	22.0000	PC	990.00
60	6		PC CTR 4' RIDGE VENT FILTERED W/NA SHFVBL 95999 WITH NAIL 10PC/CTN BLACK	9.0000	PC	54.00
70	1		CTN TRI COIL ROOFING NAIL 1-1/4" TRI-BUILT CRN 7200 1-1/4" X 0.0120 60 COILS/BOX 120 NAILS/COIL	30.0000	CTN	30.00
80	1		PL TRI PLASTIC CAP NAIL 1" 3M TRI-BUILT 3000/CTN	19.0000	PL	19.00
90	1		RL BBP 202-24AX 24X50' BLACK/BROWN BLACK/ROYAL BROWN 202-24 Fuel Surcharge	75.0000	RL	75.00 45.00
Other Charges Total:						45.00
Special Instructions						
*****						
* COLOR NEEDS TO BE PICKED *						
*****						
<p>THIS BID DOES NOT INCLUDE FUEL SURCHARGES, WHICH MAY BE ADDED TO THE COST OF MATERIALS LISTED ABOVE. THESE CHARGES ORIGINATE WITH OUR VENDOR'S CARRIERS AND ARE BASED UPON THE NATIONAL AVERAGE DIESEL FUEL PRICE AS REPORTED BY THE DEPARTMENT OF ENERGY. THE DOE REVIEWS THESE COSTS AND RESULTING FUEL SURCHARGES ON A WEEKLY BASIS.</p>						

T O		F R O M	
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FAX COPY

QUOTATION

Line No.	Qty Ordered	Sell Per	Description	Price Per	Net Price	Extended Price
Subtotal:						2,679.20
Tax:						158.05
Bid Total:						2,837.25

*This is Only Material*



**QUOTATION**

Quote Date: 04/18/2019  
Expires: 05/18/2019

Branch: ABC Supply #661  
Quoted By: [REDACTED]  
Customer Name: AQ CONTRACTING  
Bill to Account: N/A  
Contact Name: [REDACTED]  
Contact Phone: [REDACTED]

Quote Name: 1312 SEABOARD  
Job Address:  
Jobsite Contact Name:  
Jobsite Contact Phone:  
Order Type:  
Delivery Method:

QTY	UOM	PRODUCT	PRICE	TOTAL
45	BD	02TKFH2WW - TAMKO HERIT 30 AR WEATHERWOOD 3/SQ	\$25.75	\$1,158.75
3	BD	04TKAHRWW - TAMKO AR H&R WEATHERED WOOD 33.3LF	\$46.99	\$140.97
3	BD	04TK10SS - TAMKO 10" STARTER SHINGLE 100LF/BD	\$42.66	\$127.98
4	RL	05M115PLFL - 15# PLAIN GENERIC FELT 4SQ/RL	\$17.99	\$71.96
6	PC	17AVSHVT2 - AIRVENT SHINGLE VENT 2 BLACK	\$9.66	\$57.96
Prices do not include sales tax, freight, or any other special delivery or special cost, unless expressly shown on the Quotation.			Total	\$1,557.62

Other notes:

**This Quotation is subject to the Terms and Conditions set forth below. This Quotation is NOT VALID for purchases made beyond thirty (30) days of issuance unless signed by an officer or branch manager of ABC, in addition to the signature of an ABC salesperson or other ABC representative.**

\_\_\_\_\_  
[Salesperson or other ABC Representative]

\_\_\_\_\_  
[Branch Manager or ABC Officer]

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Duration: \_\_\_\_\_

- The Quotation made by American Builders & Contractors Supply Co., Inc. ("ABC") is subject to these Terms and Conditions. In addition, any purchase made from ABC shall be made pursuant to ABC's Purchase Agreement, the Terms and Conditions of which are incorporated by reference herein. In addition, any purchases made from ABC on credit shall be made pursuant to ABC's Credit Application and Agreement, the Terms and Conditions of which are incorporated by reference herein. In the event of a conflict between these Terms and Conditions and any terms and conditions set forth in any purchase order, subcontract, acknowledgement or other document presented by Customer, these Terms and Conditions will prevail.
- Except as otherwise stated on the Quotation, the prices set forth in the Quotation shall only be valid for thirty (30) days from the date of the Quotation. Failure to order the quoted quantity of products within thirty (30) days shall relieve ABC of any duty to sell at the price quoted. All prices are subject to manufacturer's price increases at any time. This Quotation is subject to product availability. All products are subject to prior sale and may become temporarily or permanently unavailable at any time. Prices do not include sales tax, freight, or any other special delivery or special costs, unless expressly shown on the Quotation.
- The Quotation is furnished by ABC as a courtesy. ABC does not represent, warrant or guarantee the accuracy or adequacy of the quantities and types of materials set forth in the Quotation for the intended project. The party receiving this Quotation shall be responsible for verifying all quantities, types of materials, and job conditions (including drain locations, field dimensions, moisture conditions, etc.). Determining the need for and purchasing of any additional quantities or types of materials is the sole responsibility of the party receiving this Quotation.
- ABC reserves the right to refuse to sell to any party not named as the CUSTOMER on this Quotation. In addition, ABC reserves the right to refuse to sell any party receiving a Quotation for any reason, including but not limited to credit reasons.
- IN NO EVENT SHALL ABC BE RESPONSIBLE FOR CONSEQUENTIAL, INCIDENTAL, EXEMPLARY, TREBLE OR PUNITIVE DAMAGES ARISING OUT OF OR IN CONNECTION WITH THIS QUOTATION, WHETHER SUCH CLAIM IS ASSERTED IN CONNECTION WITH A CLAIM FOR BREACH OF CONTRACT, PROMISSORY ESTOPPEL, EQUITABLE ESTOPPEL, MISREPRESENTATION, ANY OTHER TORT, PRODUCT LIABILITY OR ANY OTHER ACTION.**
- OTHER THAN AS SET FORTH IN ABC'S PURCHASE AGREEMENT TERMS AND CONDITIONS, ABC MAKES NO WARRANTIES, EITHER EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIMS ANY IMPLIED WARRANTIES INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.**

*Only Material*



# AQ Contracting, LLC

# Quote

Date: 22-Apr-19

Quote # 1312 Seaboard Ave

Customer ID: [REDACTED]

Expiration Date: 30 days

To: [REDACTED]  
Chesapeake, VA 23324

Salesperson	Job	Payment Terms	Due Date
J. Rosario	1312 Seaboard Ave	50% down / 50% at completion	

Qty	Description	Unit Price	Line Total
<b>Roof Replacement</b>			
	Remove 15 sq of existing shingles from entire roof deck.		
	Replace the 15 sq of old shingles with 15 sq of Architectural shingles.		
	Re-nail any loose plywood and replace any rotten plywood up to 45 pieces of plywood, any additional plywood will 49.50 per additional plywood		
	Install 4 rolls of roofing felt.		
	Install 3 bundles of starter shingles.		
	Install 3 bundles of hip and ridge.		
	Install 6 vents		
	Install flashing around the chimney to prevent any water damage.		
	Perform a nail sweep around the work area, remove waste materials. Dumpster fee included.		
	Permit included.		

This is a quotation on the services named, subject to the conditions noted below:  
5 Years Warranty on Labor (Does not cover acts of God or damage caused by winds higher than 130mph)

Subtotal	\$	7,500.00
Sales Tax		
<b>Total</b>	<b>\$</b>	<b>7,500.00</b>

[REDACTED]

To accept this quotation, sign here and return:

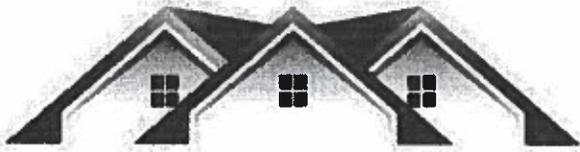
Date: \_\_\_\_\_

**Thank you for your business!**

992 First Colonial Road, Virginia Beach, Va 23454

Phone: [REDACTED] Fax: [REDACTED] E-mail: [REDACTED]

*Material + Labor  
Shingles*



# AQ Contracting, LLC

# Quote

Date: 22-Apr-19

Quote # 1312 Seaboard Ave

Customer ID: [REDACTED]

Expiration Date: 30 days

To: [REDACTED]

Chesapeake, VA 23324

Salesperson	Job	Payment Terms	Due Date
J. Rosario	1312 Seaboard Ave	50% down / 50% at completion	

Qty	Description	Unit Price	Line Total
<b><u>Metal Roof Replacement</u></b>			
	Remove existing shingles and metal material from entire roof deck.		
	Remove old and rotten wood		
	Install new wood		
	Install standing seam metal throughout the roof		
	Perform a nail sweep around the work area, remove waste materials. Dumpster fee included.		
	Permit included.		
	Labor and material		

This is a quotation on the services named, subject to the conditions noted below:  
 5 Years Warranty on Labor (Does not cover acts of God or damage caused by winds higher than 130mph)

Subtotal	\$	19,000.00
Sales Tax		
<b>Total</b>	<b>\$</b>	<b>19,000.00</b>

[REDACTED]

To accept this quotation, sign here and return:

Date: \_\_\_\_\_

**Thank you for your business!**

992 First Colonial Road, Virginia Beach, Va 23454

Phone: [REDACTED] Fax: [REDACTED] E-mail: [REDACTED]

*Material + Labor  
Metal Roof*







