



AGENDA

Board of Historic and Architectural Review

January 14, 2019

Planning Department Conference Room

306 Cedar Rd. City Hall 2nd Floor

5:30 PM

A. Call To Order

B. Agenda

1. 1442 Chesapeake Avenue

After-the-fact application to amend previously approved building elevations. Continued from the 1/3/19 regularly scheduled meeting.

2. 1136 Seaboard Avenue

After-the-fact application to replace metal roof, soffits and trim, install new gutter system, replace windows, replace siding, repaint front porch like for like, and reframe and replace front door.

C. Adjournment

The City of Chesapeake will provide reasonable accommodations and services necessary for sensory-impaired and disabled persons by contacting Mr. Tim Winslow, Facilities Manager, Public Works at 382-6273 at least three-working days in advance and language assistance to individuals with limited English proficiency to the extent possible by contacting the Planning Department at 382-6176 at least 10 days in advance of this meeting. *While this is not a public hearing, the public and any one or several members of the Chesapeake City Council may choose to attend.

1442 Chesapeake Avenue



Application for Certificate of Appropriateness

CHESAPEAKE PLANNING DEPARTMENT

APPLICATION NUMBER: _____
(Assigned by Chesapeake Planning Department)

1. **Address/Location of Project:** 1442 Chesapeake Avenue

2. **Year Structure Built (or write "new construction"):** New Construction

3. **Applicant(s):** Landover Builders

Address: _____

City: Chesapeake State: VA Zip: 23322

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

4. **Owner: (If different from applicant)**

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Daytime Phone: _____ FAX Number: _____

E-mail address: _____

Signature of Applicant/Agent & Date: _____

5. **Detailed Description of Scope of Work (add additional typed sheets if necessary):**

See plan with application

6. For new construction, additions, driveways, fences, etc. has Zoning signed off on the application? YES / NO

7. Will you be applying for consideration of a financial hardship determination? (please all that apply)

- Make temporary alterations, renovations, or repairs as part of the temporary certificate of appropriateness process
- Demolish the structure
- Replace a historic material roof with an architectural shingle roof or comparable substitute material roof

Planning Staff to Complete:

Is the Application After the Fact? YES X NO

If so, request payment of \$250 fee. Paid, NL

Can Application be administratively approved? (See pages 1-2 of the instructions) If so, provide date of approval _____ (Date) by _____ (Planner Name)

Certificate Number _____.

Determination of the Financial Hardship Committee if the applicant has applied for a temporary alteration, renovation or repair, demolition of a structure, and/or replacement of a historic material roof with architectural shingles or a comparable substitute material. YES NO X

If application needs to go to Board, please provide the date of the next meeting 01/03/19 (see calendar and deadlines). See pages 2-3 of the instructions for supplemental submittal requirements.

Certificate Number _____.

If application goes to Board, have the applicant complete the following:

I, _____, hereby grant permission for City staff & City Council appointed members of the Historic and Architectural Review Board to enter my site to view the exterior areas that are the subject of the application and which are viewable from a public right of way.

Certificate of Appropriateness Application
Initial/Date _____

I understand and agree that the Historic and Architectural Review Board onsite inspections shall be exclusively related to this Certificate of Appropriateness Application and that reasonable notice shall be given to the property owners/applicants prior to any onsite inspections. I further agree that any onsite inspections shall be conducted as necessary and at the sole discretion of City staff and the Historic and Architectural Review Board until the Historic and Architectural Review Board has taken final action on the application or the application has been withdrawn by the property owner/applicant.



2018/12/06
11:56



2018/12/06
11:55



2018/12/07
11:42

FOUNDATION NOTES

1. PRIOR TO CONSTRUCTION ALL ORGANIC MATERIAL. TOPSOIL AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AREA.
2. ALL FOOTINGS. INCLUDING SLAB ON GRADE, SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
3. ALL FOUNDATION CONCRETE FOR FOOTINGS AND INTERIOR SLABS SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. BOTTOM OF ALL FOOTINGS SHALL BE A MINIMUM 12" BELOW FINISH GRADE.
5. PIER FOOTING THICKNESS SHALL BE ONE-HALF (MINIMUM) THE WIDTH OF THE FOOTING.

BUILDING CLASSIFICATION

USE GROUP: R-3 RESIDENTIAL
 TYPE CONSTRUCTION: 5-B
 CODE & EDITION EMPLOYED: THE INTERNATIONAL RESIDENTIAL CODE 2012

BUILDING AREA

FIRST FLOOR AREA:	968	SQ. FT.
SECOND FLOOR AREA:	968	SQ. FT.
TOTAL LIVING AREA	1936	SQ. FT.
PORCH	132	SQ. FT.
GARAGE	240	SQ. FT.
TOTAL BUILDING AREA	2308	SQ. FT.

WALL BRACING

LEFT ELEVATION:	4-4' SECTIONS	(31' OF 47') 66%
REAR ELEVATION:	2-4' SECTIONS	(08' OF 23') 35%
RIGHT ELEVATION:	3-4' SECTIONS	(31' OF 47') 66%
FRONT ELEVATION:	2-4' SECTION	(08' OF 23') 35%

BUILDING DESIGN LOADS

LIVING AREAS:	40 PSF (LIVE)	10 PSF (DEAD)
SLEEPING AREAS:	30 PSF (LIVE)	10 PSF (DEAD)
CEILING JOIST:	20 PSF (LIVE)	10 PSF (DEAD)
ROOF AREAS:	20 PSF (LIVE)	7 PSF
WIND LOAD:		100 PSF EXP. B

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- A1.2 FLOOR PLAN
- A2.1 FRONT & REAR EXTERIOR ELEVATIONS
- A2.2 LEFT & RIGHT EXTERIOR ELEVATIONS
- A5.1 ROOF PLAN
- A8.1 STAIR SECTION & TYPICAL WALL SECTION

BUILDING CLASSIFICATION

1. ALL APPLICABLE CONSTRUCTION SHALL CONFORM TO THE I.R.C. (INTERNATIONAL RESIDENTIAL BUILDING CODE) 2015, AND U.S.B.C. (THE VIRGINIA UNIFORM STATEWIDE CODE) and 2012 VUSBC
2. CODES GOVERN OVER DRAWING PLANS, VERIFY ALL LOCAL CODES AND SPECIFICATIONS.
3. BUILDING PERMITS SHALL BE PROMPTLY AND CONSPICUOUSLY POSTED AT THE BUILDING SITE AT ALL TIMES DURING CONSTRUCTION.
4. ALL CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL BELOW LOCAL FROST LINES AS PER ALL LOCAL BUILDING CODES.
5. ALL CONCRETE SHALL BE A MIN. OF 3,000 PSI FOR INTERIOR SLABS AND FOOTINGS, AND 3,000 PSI FOR DRIVEWAYS, EXTERIOR AND GARAGE SLABS
6. ALL LUMBER USED SHALL BE SOUTHERN YELLOW PINE MIN. NO. 2 STRUCTURAL GRADE; ALL WOOD TRUSSES, T.J.I.'S & ENGINEERED LUMBER SHALL BE CERTIFIED BY THE MANUFACTURER. TRUSSES AND FRAMING MEMBERS SHALL HAVE A CAPACITY TO SUPPORT LIVE AND DEAD LOADS AS SPECIFIED BY ALL APPLICABLE CODES, AND/OR AS FOLLOWS:

DESIGN LOADS	LIVE LOADS	DEAD LOADS
LIVING AREAS	40 PSF	10 PSF
SLEEPING AREAS	30 PSF	10 PSF
CEILING JOIST	20 PSF	10 PSF
ROOF AREAS	20 PSF	10 PSF
7. CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH METHOD 3 OF THE SECTION R-602.10.3 FOR BRACED WALLS & IN ACCORDANCE WITH SECTION R-602.10.5 & TABLE R-602.10.5 OF THE I.R.C. 2015.
8. ALL HEATING, VENTILATING AND AIR CONDITIONING AND/OR ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL CODES AND ORDINANCES AND SHALL CONFIRM TO STANDARD TRADE PRACTICES. REQUIRED BUILDING PERMITS SHALL BE OBTAINED AND PAID FOR BY THE RESPECTIVE TRADES.
9. ELECTRICAL AND PLUMBING SHALL BE ROUGHED-IN BEFORE THE FRAMING INSPECTION IS MADE.
10. ALL POTABLE WATER OUTLETS SHALL BE PROTECTED FROM CROSS CONNECTIONS.
11. ALL INTERIOR ROOM FINISHES INCLUDING WALL AND CEILING COVERINGS FOR THE ROOMS OR ENCLOSED SPACES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS
12. SINGLE AND MULTIPLE SMOKE DETECTORS (S.D) SHALL BE INSTALLED IN THE DWELLING IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY. THE SMOKE DETECTORS SHALL BE HARD WIRED AND SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE I.R.C. 2015 AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF N.F.P.A. 72.
13. PROVIDE A SOLID/20 MIN. FIRE RATED DOOR BETWEEN THE GARAGE AND THE RESIDENCE. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED HABITABLE ROOMS ABOVE BY NOT LESS 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT. ALL REQUIRED EMERGENCY EGRESS WINDOWS ARE TO COMPLY WITH SECTION 310 OF THE I.R.C. 2006. THESE WINDOW UNITS ARE TO MEET OR EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENING AREA OF 5.7 SQ. FT. (5.0 SQ. FT. FOR GRADE LEVEL WINDOW UNITS), CLEAR OPENING WIDTH OF 20", CLEAR OPENING HEIGHT OF 24", AND HAVE A SILL HEIGHT OF NOT MORE 44" ABOVE FINISHED FLOOR.
14. THE CONTRACTOR MUST VERIFY THAT THE SELECTED WINDOW UNITS FOR BEDROOMS MEET THE EGRESS MINIMUMS FOR THE WIDTH AND OPENING SIZE, UNIT SIZES SHOWN ON THE PLANS MAY NOT MEET THE EGRESS REQUIREMENTS FOR ALL WINDOW MANUFACTURES.
15. SAFETY GLAZING SHALL BE INSTALLED IN ALL HAZARDOUS LOCATIONS AS DEFINED BY SECTION R-308.4 OF THE I.R.C. 2006, INCLUDING BUT NOT LIMITED TO ALL GLAZING NINE (9) SQ. FT. OR LARGER, WITHIN 18" OF A FLOOR, WITHIN 24" OF A DOOR, IN WALLS ENCLOSING A STAIRWAY LANDING OR WITHIN 60" OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE THE WALKING SURFACE, AND ANY GLAZING WITHIN 60" OF A BATHING TUB.
16. PROVIDE EXHAUST FANS, VENTED DIRECTLY TO THE OUTSIDE, IN BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS WITHOUT THE MINIMUM REQUIRED OPERABLE WINDOWS.

Landover Builders, Inc
 1208 Balladeer Court
 Chesapeake, VA 23322
 Ph. (757) 572-7056

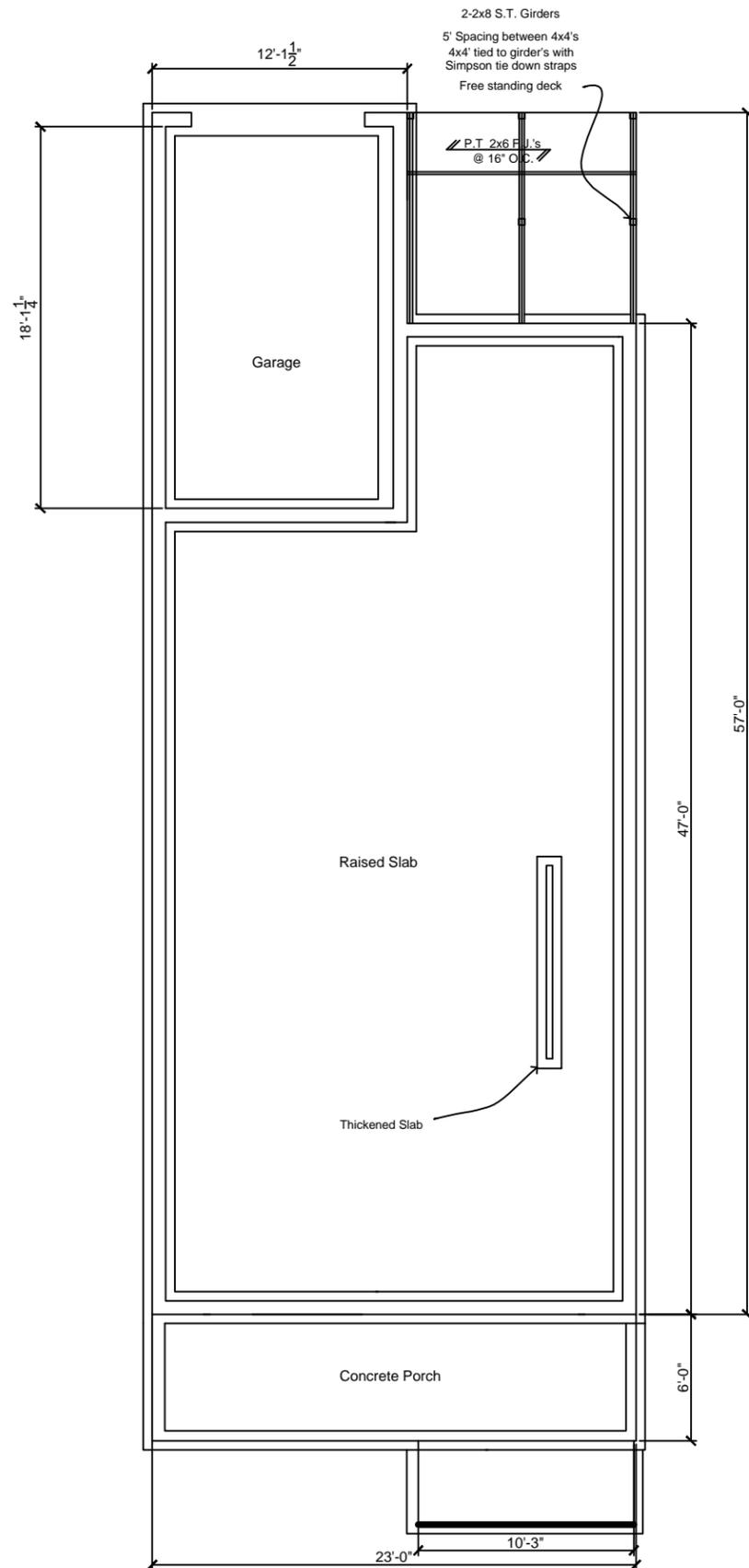
Drawn By:
 Michael Mannix

Date:
 01/04/2017

Project:
 1442 Chesapeake Avenue
 Chesapeake, VA 23324

Drawings:
 TITLE

Sheet
 T-0.0



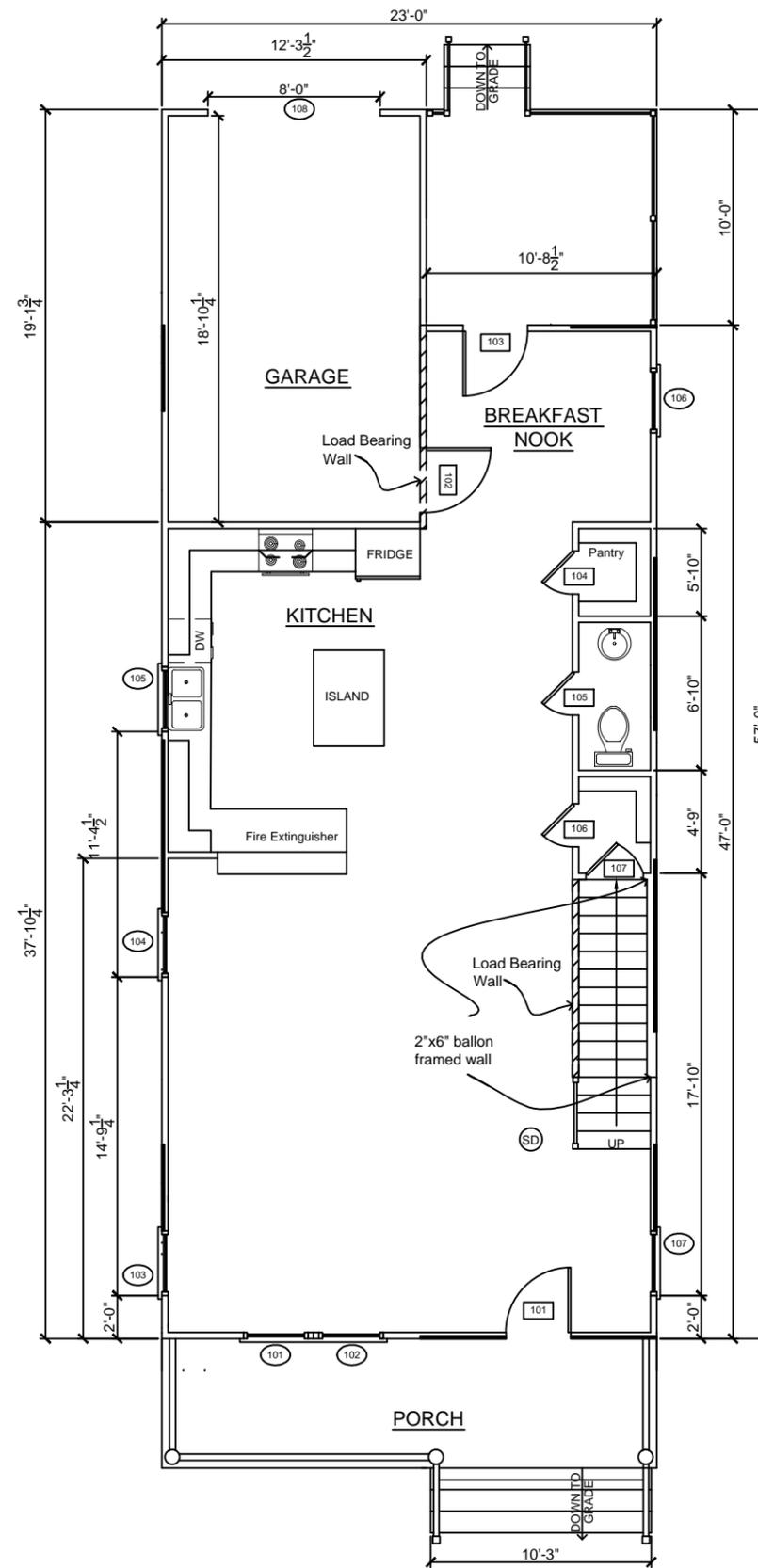
1
A1 CRAWL SPACE FOUNDATION PLAN
1/8" = 1' - 0"

DOOR SCHEDULE				
NO.	HT.	WIDTH	THICKNESS	HEADERS
101	6'-8"	3'-0"	1'-3/4"	2 - 2" X 8"
102	6'-8"	3'-0"	1'-3/4"	2 - 2" X 8"
103	6'-8"	3'-0"	1'-3/4"	2 - 2" X 8"
104	6'-8"	2'-0"	1'-3/8"	2 - 2" X 8"
105	6'-8"	2'-0"	1'-3/8"	2 - 2" X 8"
106	6'-8"	2'-0"	1'-3/8"	2 - 2" X 8"
107	5'-0"	2'-8"	1'-3/8"	2 - 2" X 8"
108	7'-0"	8'-0"	Garage Door	LVL

- (SD) Smoke Detector
- (CM) Carbon Monoxide Detector

WINDOW SCHEDULE				
NO.	HT.	WIDTH	THICKNESS	HEADERS
101	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
102	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
103	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
104	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
105	2'-8"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
106	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
107	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"

Windows U-Factor not to be less than .40



1
A1 LOWER LEVEL FLOOR PLAN
1/8" = 1' - 0"

Project:
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Chesapeake, VA 23324

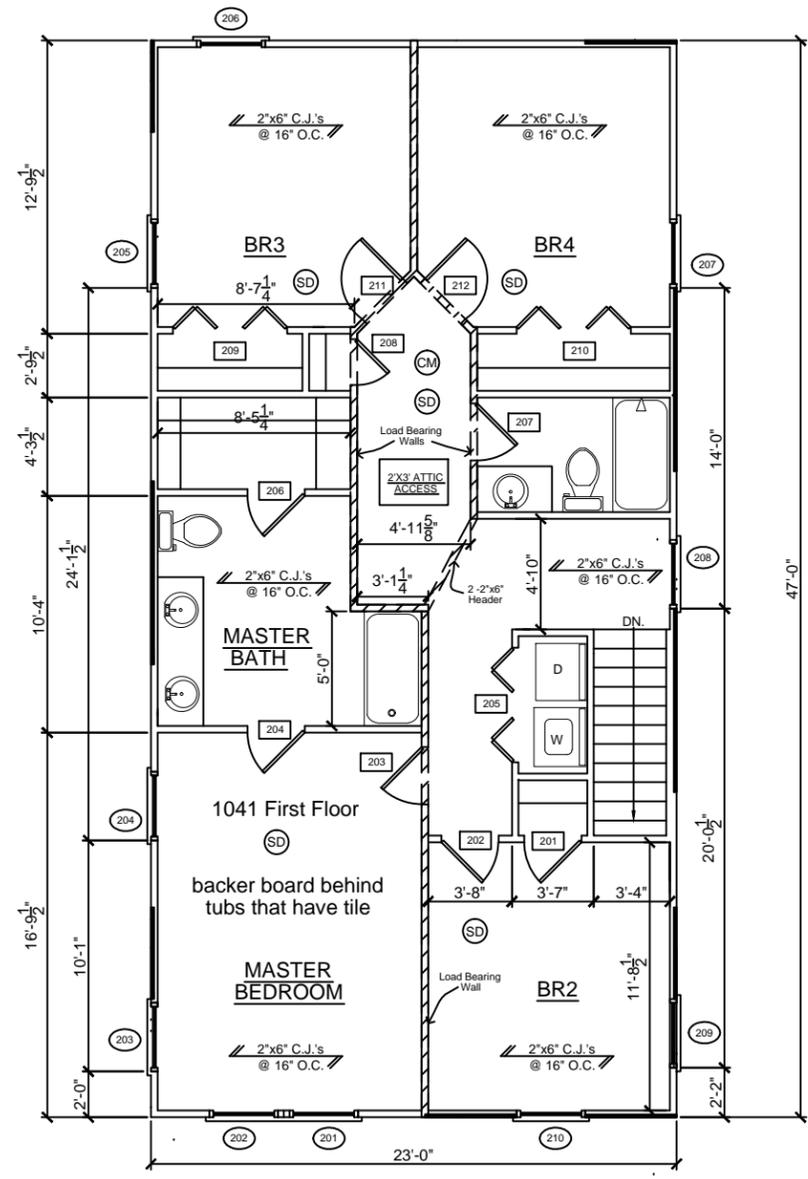
Drawings:
UPPER LEVEL
FLOOR PLAN &
ROOF PLAN

Sheet
A-1.2
A-5.1

Date:
01/04/2017

Drawn By:
Michael Mannix

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2 UPPER LEVEL FLOOR PLAN
A-1 1/8" = 1'-0"

Wall braced lines			
Wall	Length	4' Panels	% Braced
Left	53'	4	30.18
Rear	23'	1	17.39
Right	53'	5	37.73
Front	23'	2	34.78

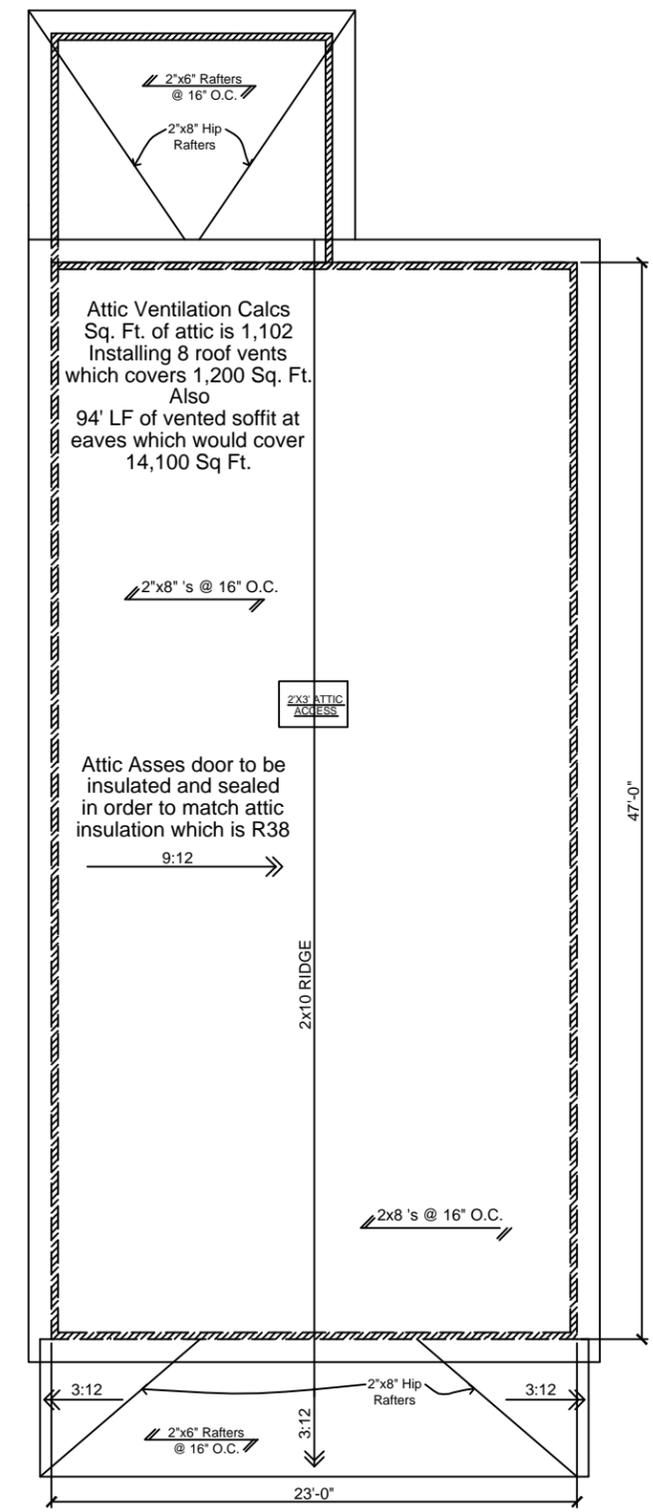
1041 First Floor
1150 Second Floor
180 Garage

DOOR SCHEDULE				
NO.	HT.	WIDTH	THICKNESS	HEADERS
201	6'-8"	2'-6"	1'-3/8"	2 - 2" X 6"
202	6'-8"	2'-6"	1'-3/8"	2 - 2" X 8"
203	6'-8"	2'-6"	1'-3/8"	2 - 2" X 6"
204	6'-8"	2'-6"	1'-3/8"	2 - 2" X 6"
205	6'-8"	5'-0"	BI-FOLD	2 - 2" X 6"
206	6'-8"	5'-0"	BI-FOLD	2 - 2" X 6"
207	6'-8"	2'-6"	1'-3/8"	2 - 2" X 6"
208	6'-8"	2'-0"	1'-3/8"	2 - 2" X 6"
209	6'-8"	5'-0"	BI-FOLD	2 - 2" X 6"
210	6'-8"	5'-0"	BI-FOLD	2 - 2" X 6"

- (SD) Smoke Detector
 - (CM) Carbon Monoxide Detector
- (Headers gaps to be insulated>R-3)

WINDOW SCHEDULE				
NO.	HT.	WIDTH	THICKNESS	HEADERS
201	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
202	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
203	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
204	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
205	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 6"
206	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
207	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
208	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
209	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 8"
210	5'-2"	3'-0"	D.H. OR S.H.	2 - 2" X 6"

Windows U-Factor not to be less than 0.40



1 ROOF PLAN
A-5 1/8" = 1'-0"

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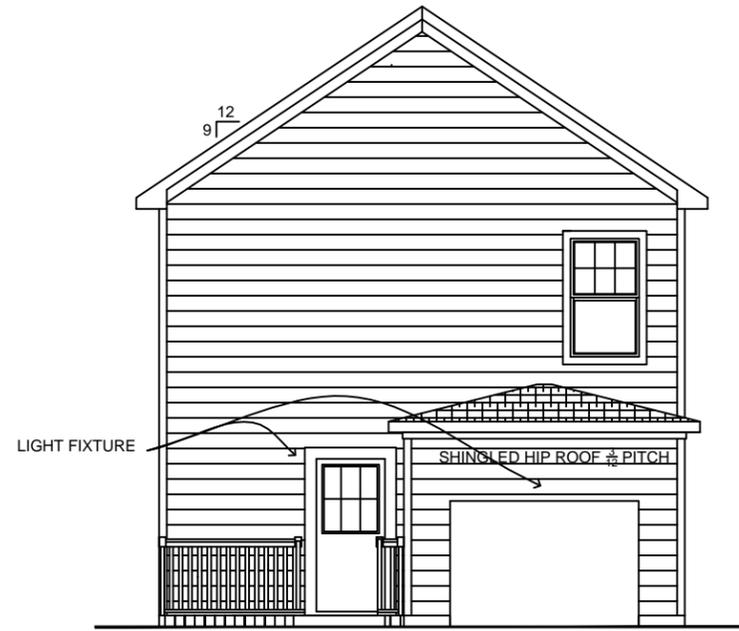
Drawn By:
Michael Mannix

Date:
01/04/2017

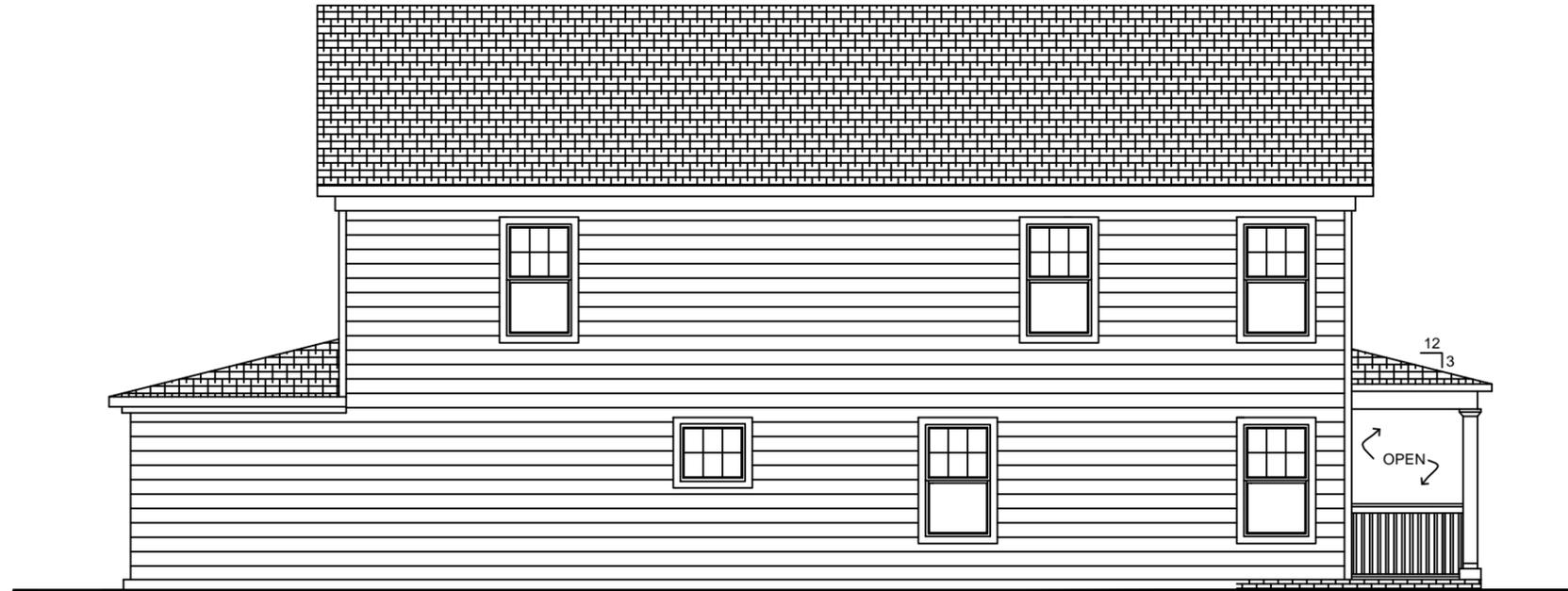
Project:
1442 Chesapeake Avenue
Chesapeake, VA 23324

Drawings:
UPPER LEVEL
FLOOR PLAN &
ROOF PLAN

Sheet
A-1.2
A-5.1



1 REAR ELEVATION
A-2 1/8" = 1'-0"



1 LEFT ELEVATION
A-2 1/8" = 1'-0"

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01/04/2017

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Chesapeake, VA 23324

Drawings:
LEFT & REAR
ELEVATIONS

Sheet
A-2.1

CEDAR SHAKE

1" X 6" FACIA TRIM

1" X 8" FRIEZE TRIM

HORIZ. LAP SIDING
(4" EXPOSURES)

4" CORNER & WINDOW TRIM
AND 4" CLAPBOARD VINYL

SHINGLED HIP ROOF $\frac{3}{12}$ PITCH

10" BEAM

LIGHT FIXTURE

8" COLUMNS (TYP.)

4" TRIM AROUND DOORS

BRICK STEPS

8-1/4" MAX. RISE

12" MIN. TREAD

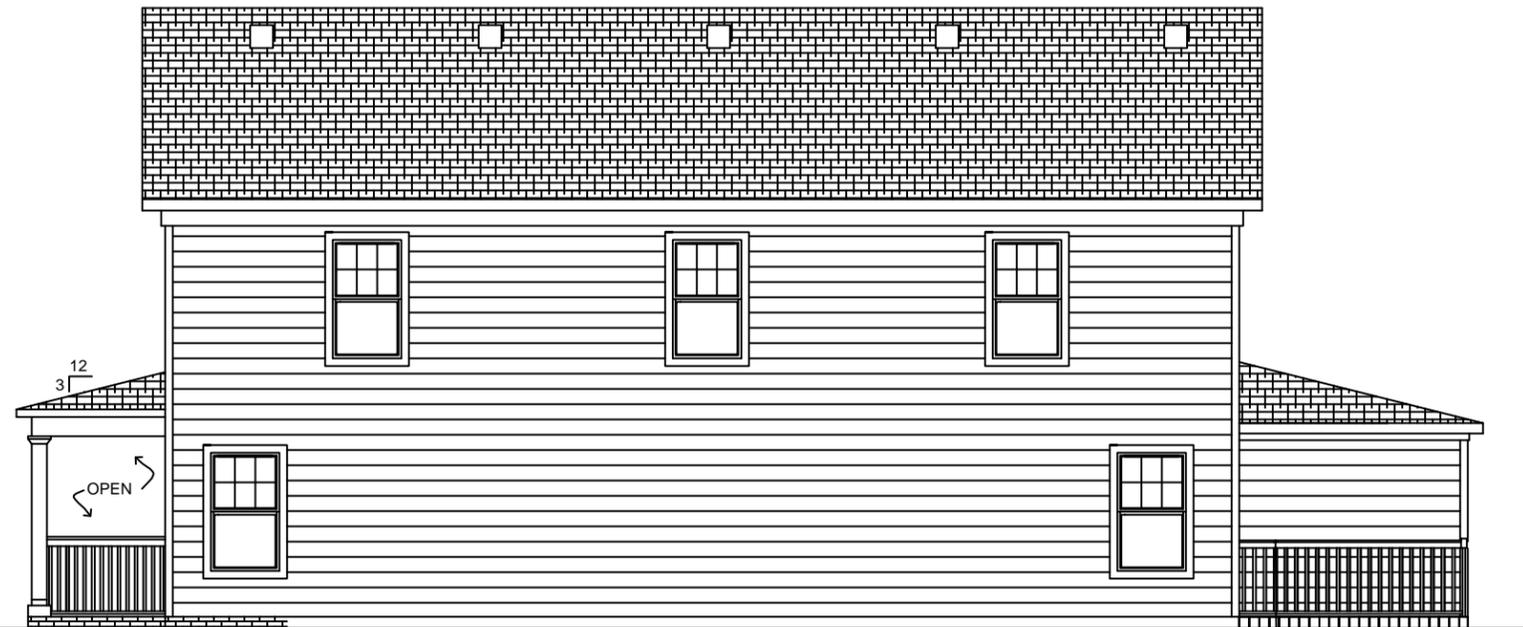
PORCH HANDRAIL HEIGHT 36" - 38"

PICKET SPACING 4"



2 FRONT ELEVATION
A-2 1/8" = 1'-0"

Five 1'x1' attic vents. 1,150 Attic Sq Ft. 1 vent covers 300 Sq. Ft.



HANDRAIL HEIGHT 36" - 38"
PICKET SPACING 4"
PICKET WIDTH 2" MIN. (Typ.)

2 RIGHT ELEVATION
A-2 1/8" = 1'-0"

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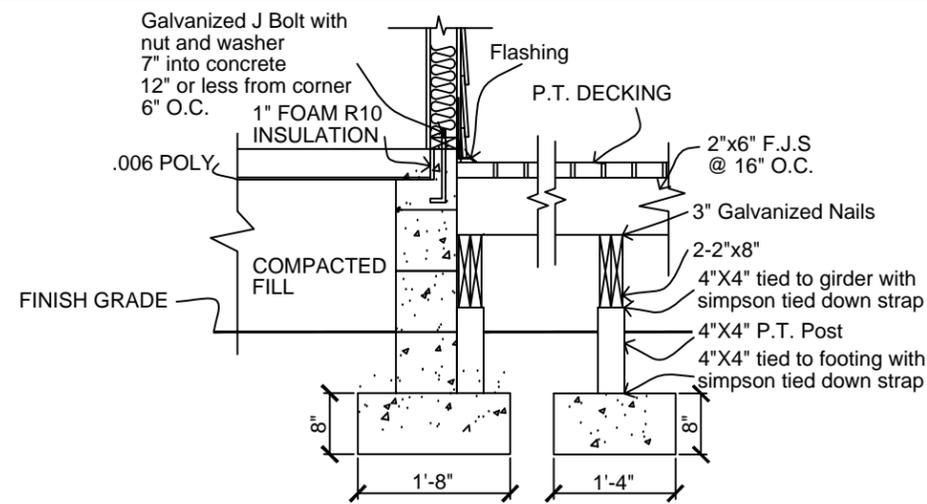
Drawn By:
Michael Mannix

Date:
01/04/2017

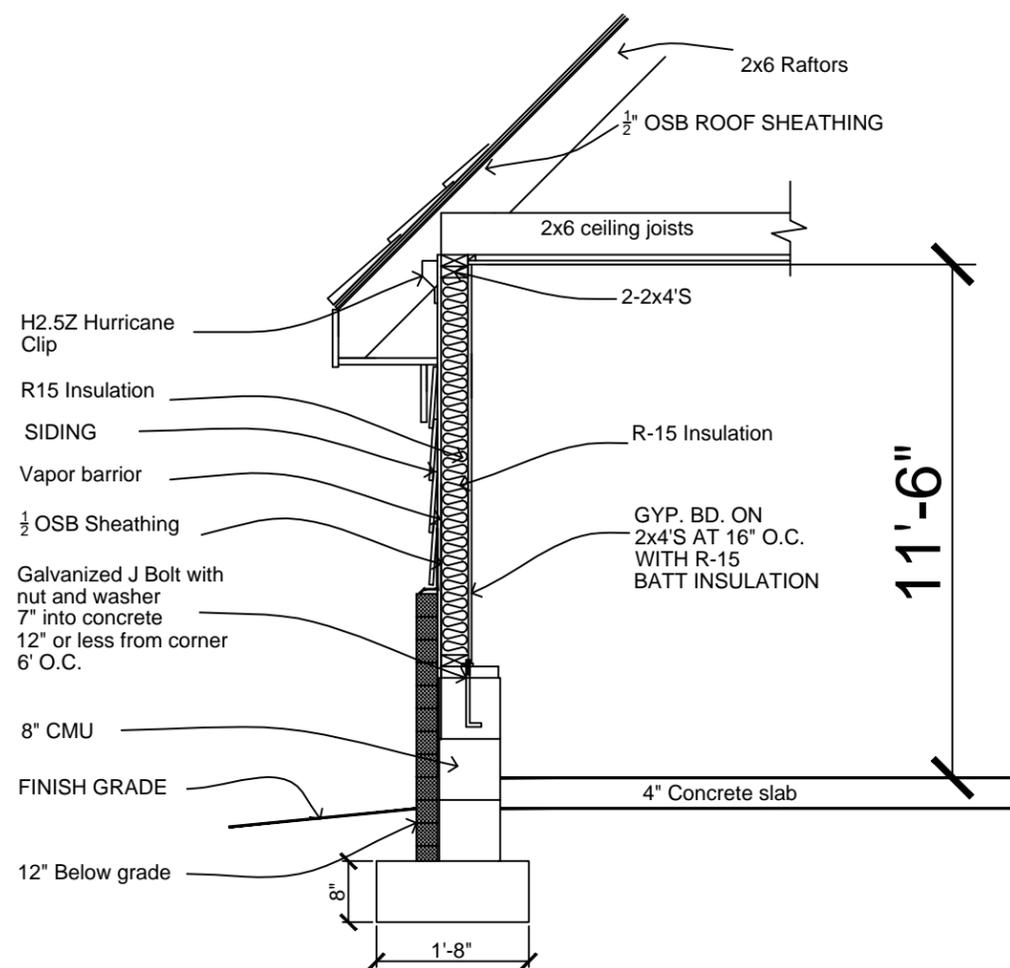
Project:
1442 Chesapeake Avenue
Chesapeake, VA 23324

Drawings:
RIGHT & FRONT
ELEVATIONS

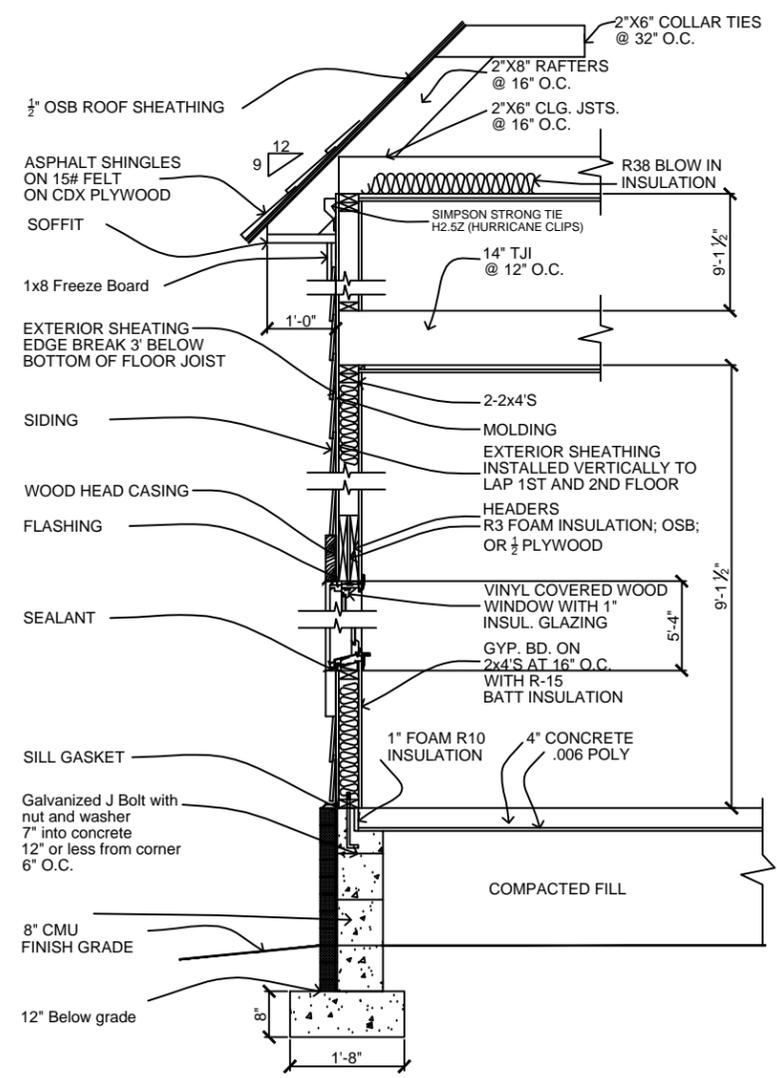
Sheet
A-2.2



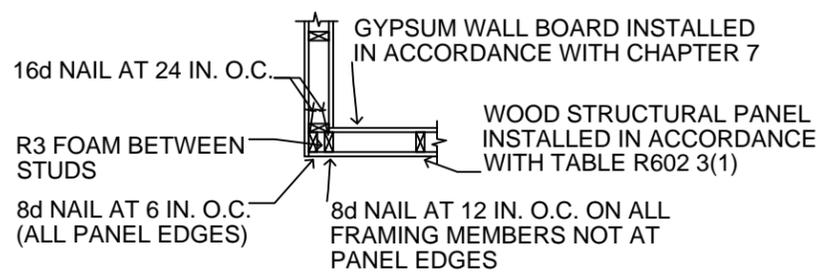
1 DECK SECTION
A8 SCALE: 1/2" = 1'-0"



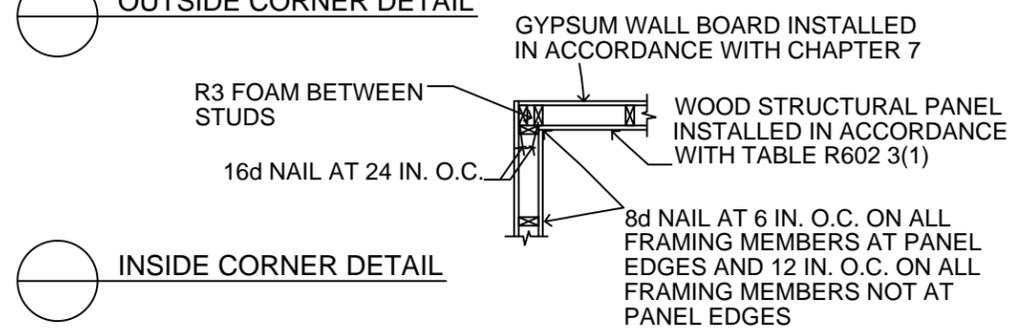
1 GARAGE WALL DETAIL
A8 SCALE: 1/2" = 1'-0"



1 WALL & SLAB FOUNDATION SECTION
A8 SCALE: 1/2" = 1'-0"



OUTSIDE CORNER DETAIL



INSIDE CORNER DETAIL

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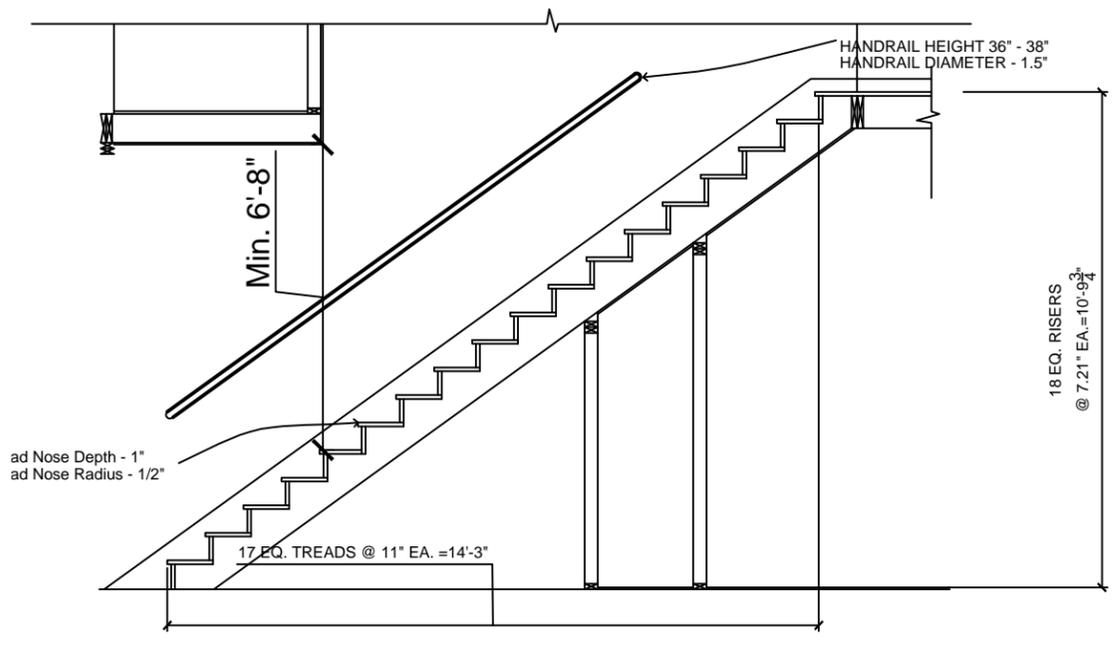
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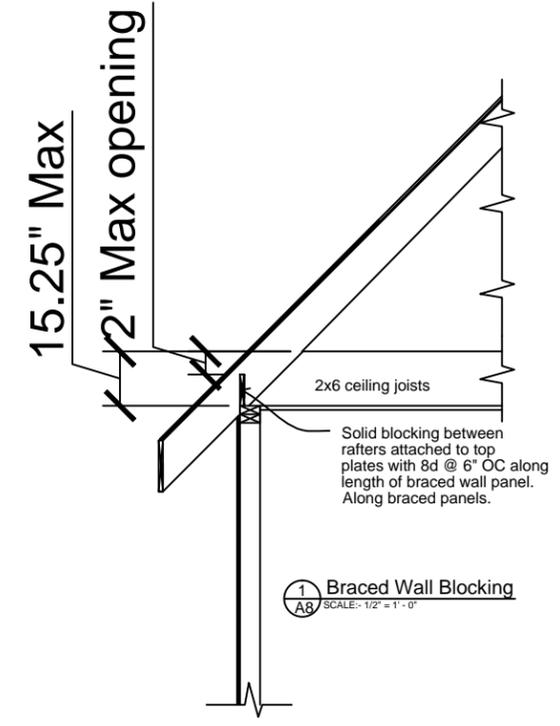
Project:
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Chesapeake, VA 23324

Drawings:
WALL SECTIONS
CORNERS

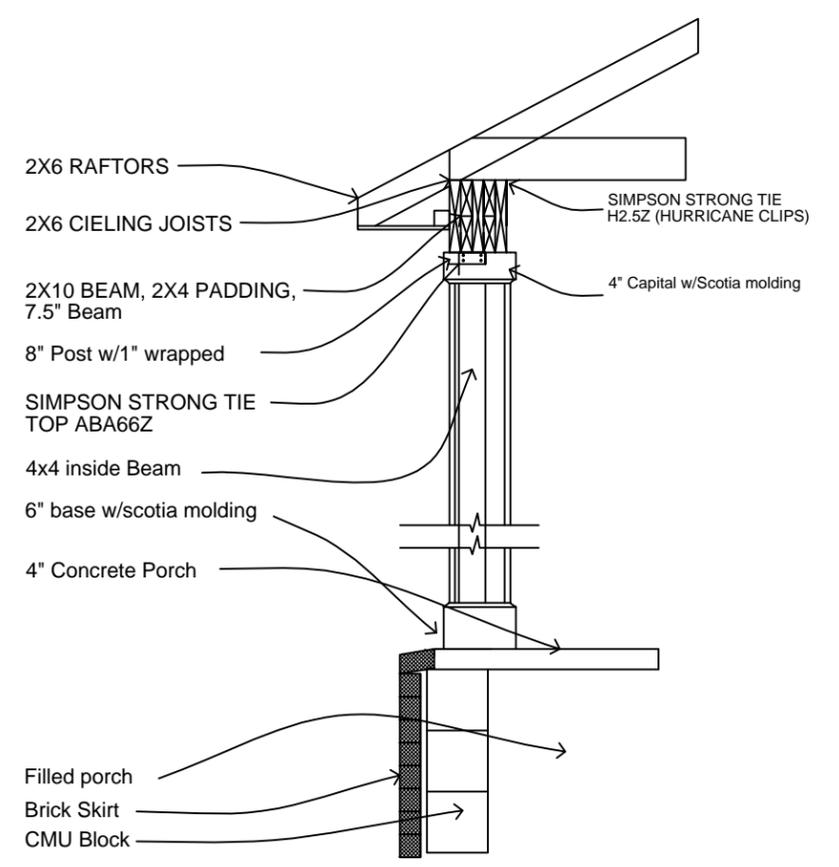
Sheet
A-2.3



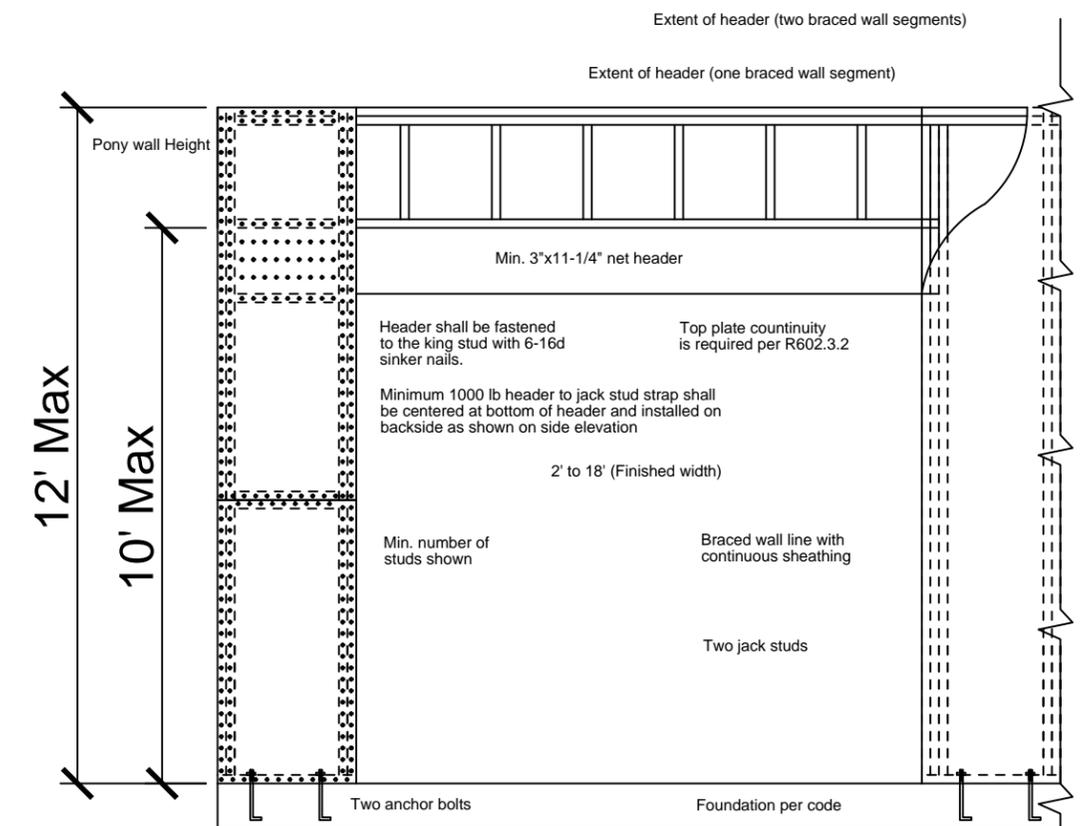
1 STAIR SECTION
SCALE: 1/4" = 1'-0"



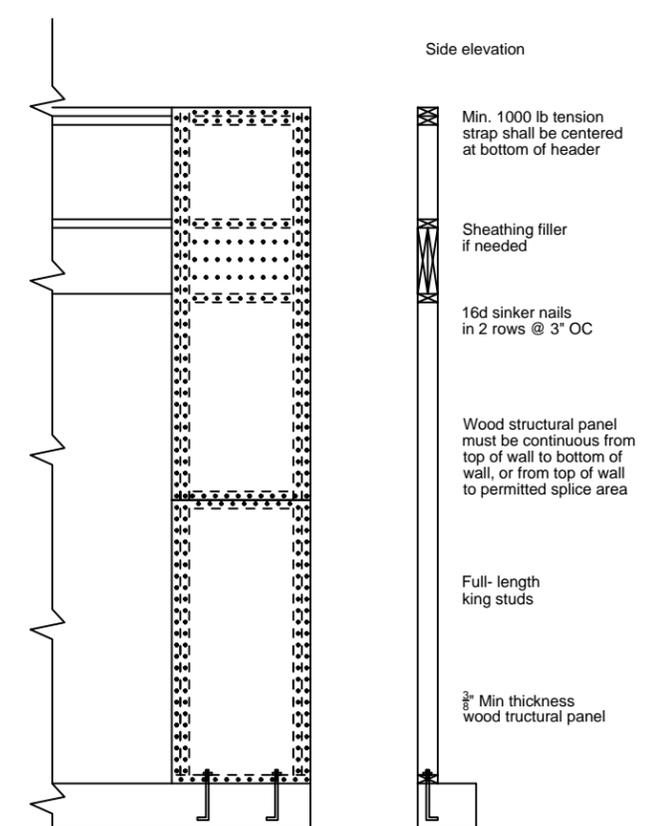
1 Braced Wall Blocking
SCALE: 1/2" = 1'-0"



1 PORCH DETAIL
SCALE: 1/2" = 1'-0"



1 PORTAL FRAMING FOR GARAGE
SCALE: 1/2" = 1'-0"



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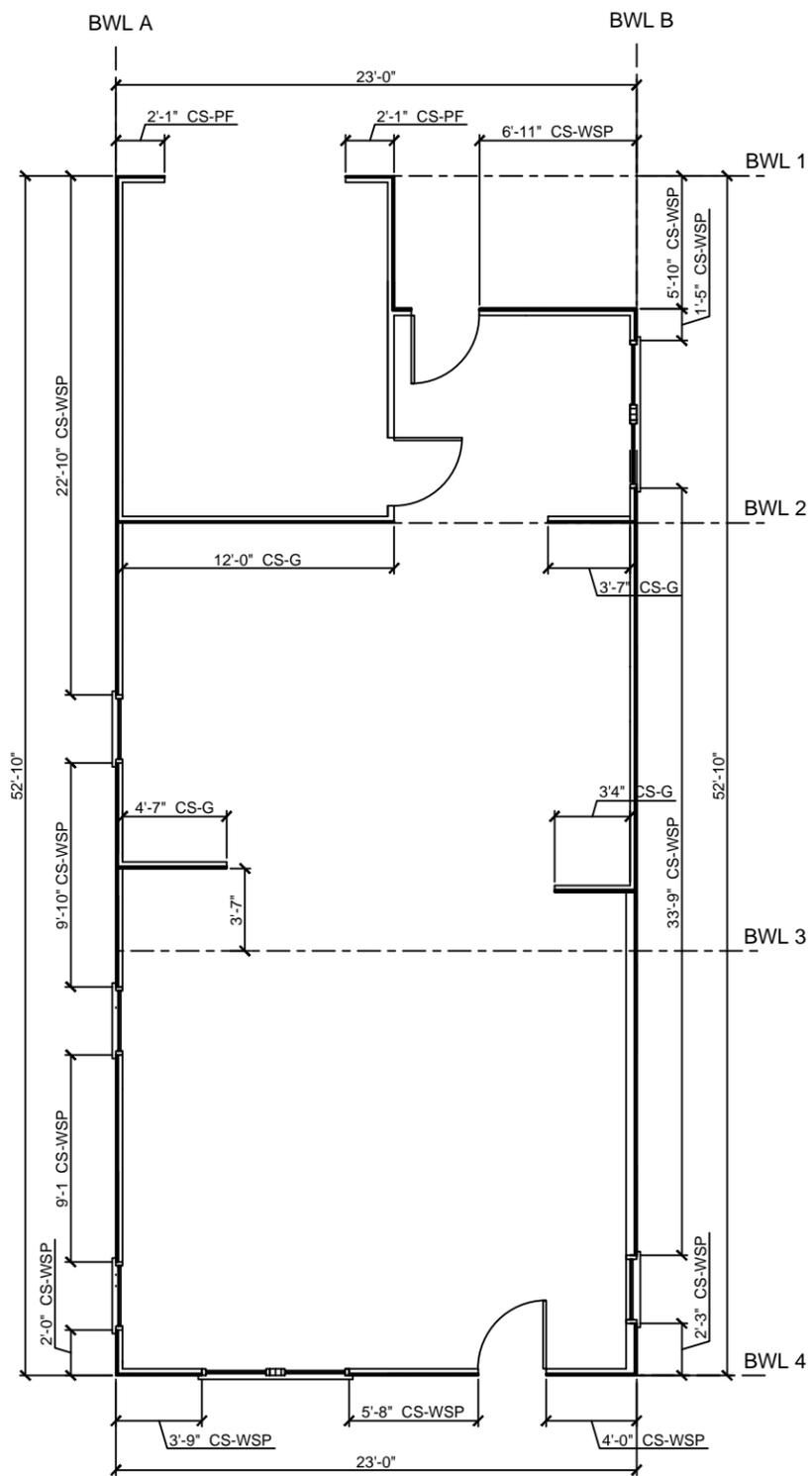
Drawn By:
Michael Mannix

Date:
01/04/2017

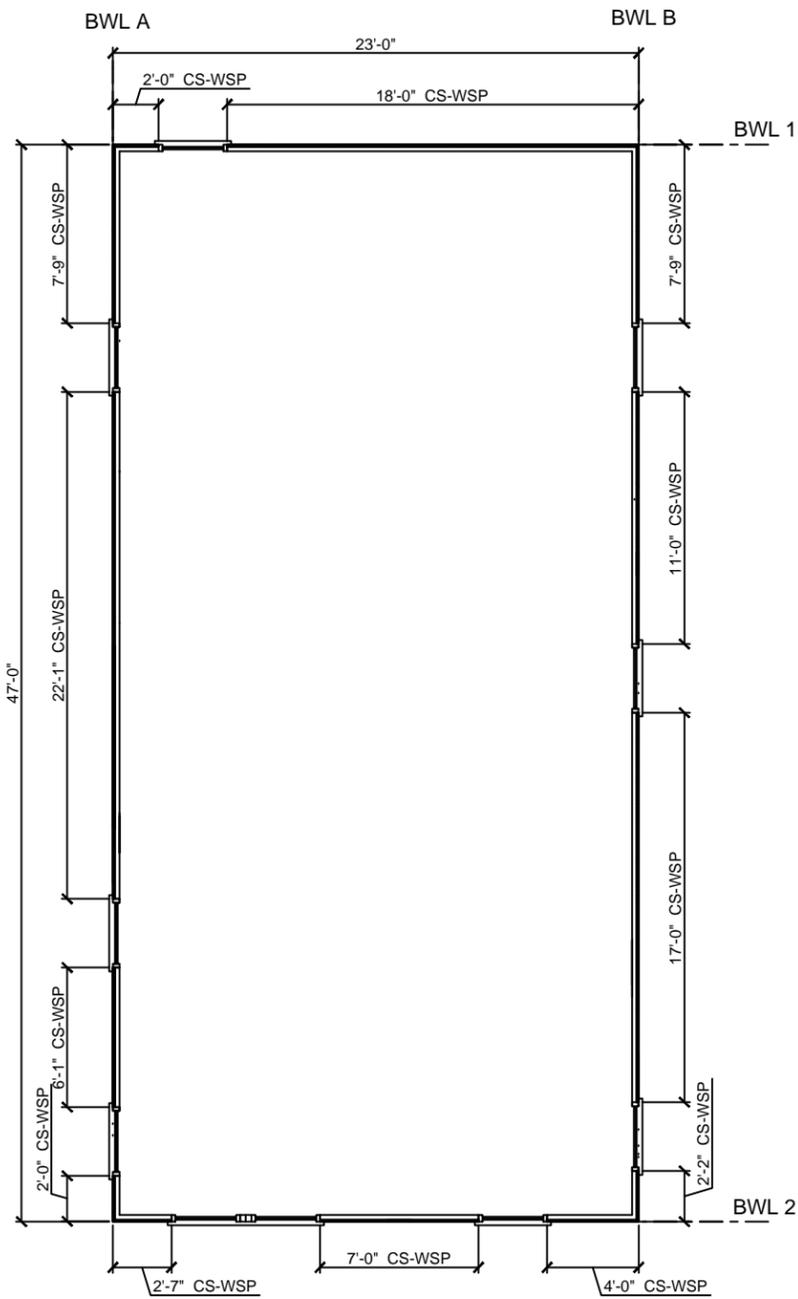
Project:
1442 Chesapeake Avenue
Chesapeake, VA 23324

Drawings:
PORTAL FRAME
SECTIONS

Sheet
A-2.4



1 FIRST FLOOR BRACING
A1 1/8" = 1'-0"



2 SECOND FLOOR BRACING
A-1 1/8" = 1'-0"

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Drawn By:
Michael Mannix

Date:
01/04/2017

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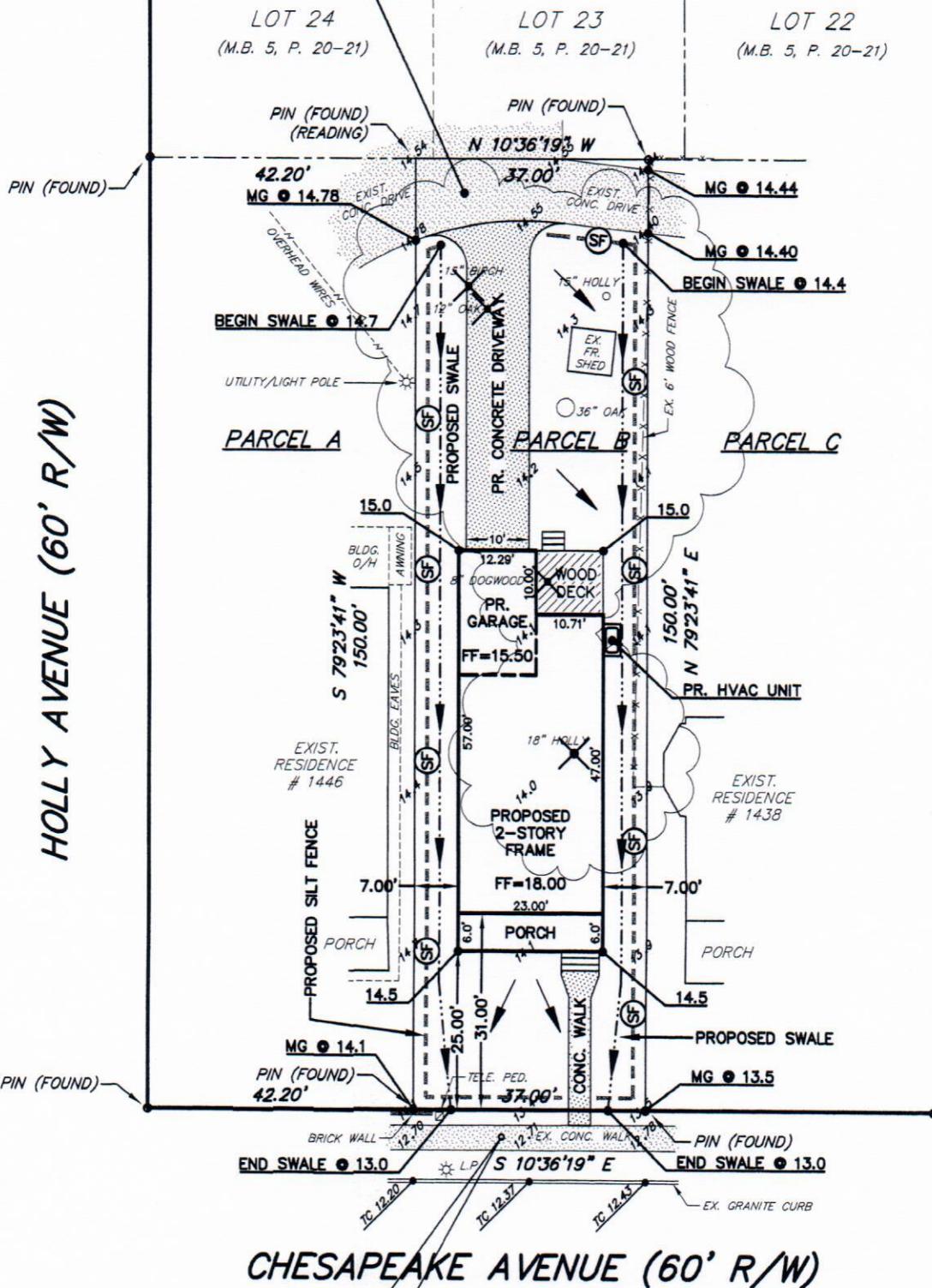
Drawings:
BRACING

Sheet
A-2.5

INGRESS AND EGRESS EASEMENT
 "LIMITED TO TEN (10) FEET IN WIDTH
 ON GRANTOR'S CURRENT DRIVEWAY"
 (REF: D.B. 9785, P. 1017)

(M.B. 163, P. 177)

(EXACT LOCATION NOT SPECIFIED IN DEED)



SITE PLAN
 OF
PARCEL B
 RESUBDIVISION OF LOTS 10, 11 AND 12,
 BLOCK I, QUINCY PLACE
 SOUTH NORFOLK BOROUGH - CHESAPEAKE, VIRGINIA
 FOR
LANDOVER BUILDERS

LEGEND:

- EXIST. SPOT ELEVATION
- PROPOSED ELEVATION
- PROP. DIRECTION OF FLOW
- BENCH MARK
- EXISTING FENCE
- EXISTING TREE

T.B.M.
 PAINTED DRILL HOLE
 IN CONC. WALK
 EL. 12.73

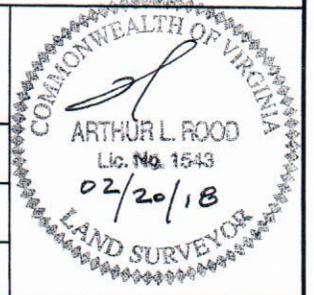


ROOD
 LAND SURVEYING, P.C.

5737 BARTEE STREET TEL: (757) 466-1111
 NORFOLK, VA. 23502 FAX: (757) 466-9384



SCALE: 1"=20' DRAWN BY: W.W.L.
 DATE: 02/20/2018 SHEET 1 OF 2



PLAT/DEED REFERENCE: M.B. 163, P. 177 (Chesapeake) F.B.T-134 PG. 36-38

63,890 S-6532

GENERAL NOTES :

- 1) VERTICAL CONTROL – NAVD 1988
- 2) PRIOR TO CONSTRUCTION OR EXCAVATION, CONTRACTOR SHALL CALL "MISS UTILITY" AT 811
- 3) THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN, THROUGHOUT THE JOB, ALL EROSION AND SILTATION CONTROL WORK, INCLUDING SILT FENCES AND OTHER DEVICES, ALL AS REQUIRED BY THE EROSION AND SILTATION CONTROL PLAN AS SHOWN ON THE CONTRACT DRAWINGS. ALL CONTROL METHODS AND DETAILS SHALL COMPLY WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST EDITION). SEE PLANS FOR LOCATION.
- 4) PROJECT LIMITS ARE TO BE THE PROPERTY LINES UNLESS OTHERWISE NOTED.
- 5) THIS PLAN DOES NOT GUARANTEE THE EXISTENCE AND/OR LOCATION OF UNDERGROUND UTILITIES.
- 6) PROPERTY SHOWN HEREON APPEARS TO FALL WITHIN ZONE(S) "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CHESAPEAKE, VIRGINIA. COMMUNITY/PANEL NO. 510034 0016 D, EFFECTIVE DATE; 12/16/2014
- 7) ROOD LAND SURVEYING, P.C. DOES NOT GUARANTEE OR IMPLY THAT THE ZONING DISTRICT AND APPLICABLE BUILDING SETBACK DISTANCES AS SHOWN HEREON ARE CORRECT. THE OWNER/BUILDER IS RESPONSIBLE FOR THE VERIFICATION OF THE ZONING DISTRICT AND APPLICABLE SETBACK DISTANCES WITH THE CITY ZONING OFFICIAL.
- 8) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ANY/ALL EASEMENTS OR RESTRICTIONS THAT MAY AFFECT SAID PROPERTY AS SHOWN.
- 9) IT SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL BUILDING DIMENSIONS, BUILDING SETBACKS AND DEED RESTRICTIONS PRIOR TO START OF CONSTRUCTION.
- 10) AFTER PERMIT IS ISSUED, ROOD LAND SURVEYING, P.C. ASSUMES THAT THE BUILDING DIMENSIONS AND LOCATION HAVE BEEN APPROVED BY THE OWNER AND/OR BUILDER.
- 11) ALL LAYOUT SHALL BE DONE BASED ON THE INFORMATION SHOWN HEREON. ANY DIFFERENCES BETWEEN THE DIMENSIONS SHOWN HEREON AND THE FINAL ARCHITECTURAL PLANS SHALL BE SUBMITTED TO ROOD LAND SURVEYING, P.C., IN WRITING, PRIOR TO CONSTRUCTION.
- 12) THE DIFFERENCE IN THE GARAGE FLOOR ELEVATION AND THE FIRST FLOOR ELEVATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION TO ENSURE THE PROPER CEILING HEIGHTS.
- 13) CANOPY COVERAGE CALCULATIONS:
 COVERAGE REQUIRED: 20 %
 AREA OF LOT: 5,550 S.F.
 IMPERVIOUS AREA: 2,421 S.F.
 COVERAGE REQUIRED: (AREA - IMP) X 20% = 626 S.F.
 EXISTING COVERAGE: 3,435 S.F.
 COVERAGE NEEDED: N/A
- 14) ALL TREES SHOWN ON THIS PLAN WILL BE PROTECTED AND/OR PLANTED ACCORDING TO THE CITY OF CHESAPEAKE LANDSCAPE MANUAL.
- 15) SITE DATA:
 TAX I.D. NUMBER: 1340000001971
 ZONING: RSFA1: SIGLE FAMILY ATTACHED
 LOT AREA: 5,550 S.F. OR 0.127 AC.
- 16) PROPOSED LOT GRADING IS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE PUBLIC FACILITIES MANUAL VOL. 1, DATED: MARCH, 1984.

SITE PLAN
 OF
PARCEL B
 RESUBDIVISION OF LOTS 10, 11 AND 12,
 BLOCK I, QUINCY PLACE
 SOUTH NORFOLK BOROUGH – CHESAPEAKE, VIRGINIA
 FOR
LANDOVER BUILDERS



ROOD
 LAND SURVEYING, P.C.

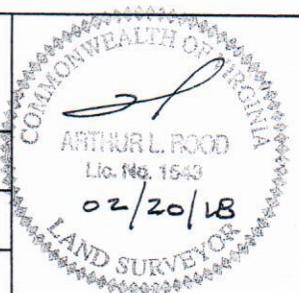
5737 BARTEE STREET TEL: (757) 466-1111
 NORFOLK, VA. 23502 FAX: (757) 466-9384

GRAPHIC SCALE



SCALE: NONE DRAWN BY: W.W.L.

DATE: 02/20/2018 SHEET 2 OF 2



PLAT/DEED REFERENCE: M.B. 163, P. 77 (Chesapeake) F.B.T-134 PG. 36-38

1442 Chesapeake Avenue

Landover
Builders Inc.



- Front Elevation



- Shingles



1442 Chesapeake Avenue

Landover
Builders Inc.



- Homes across the street

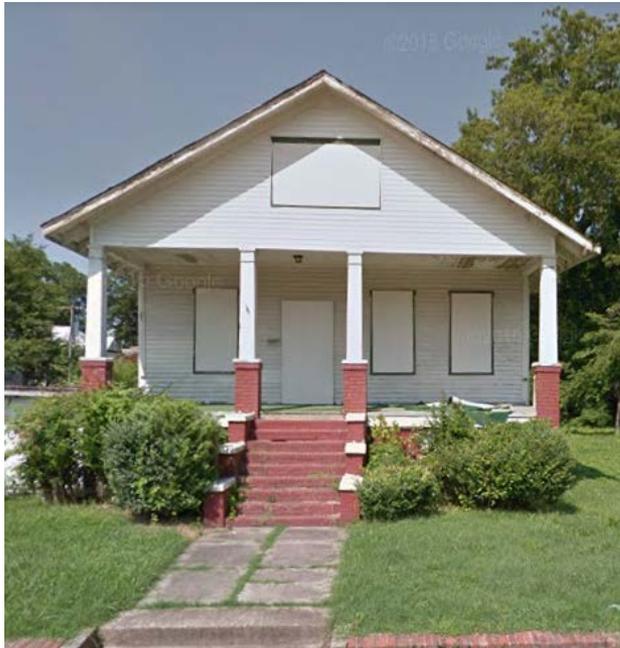


1442 Chesapeake Avenue

Landover
Builders Inc.



- Homes on the same side of the street





South Norfolk Historic District Certificate of Appropriateness



Landover Builders

(Name)

1442 Chesapeake Avenue, Chesapeake, VA 23324

(Address)

For:

New construction home with the following: concrete slab foundation raised to match elevation of adjacent homes on same side of street; brick skirt on three sides of home (front, left side, right side); front porch columns – 8” square in white; main roof and front porch - architectural shingles in charcoal black; six-over-one vinyl windows – white; front door in approved pattern – white; Dutch lap vinyl siding – 4” width in gray; trim – white vinyl; exterior lighting – Home Decorators Collection aged iron outdoor wall lantern in black; vented soffits –white; and setback of home to be average of adjacent home on same side of street (final setback determined by Department of Development and Permits).

Recording Secretary,

Board of Historic and Architectural Review

(Note: This Certificate of Appropriateness expires 6 months from the approval date.)

PLN-CAPP-2018-009

Certificate Number

02/01/2018

Date

1136 Seaboard Avenue



Record Summary for Certificate of Appropriateness

Record Detail Information

Record Type: [Certificate of Appropriateness](#) Record Status: [Open](#) File Date: [December 17, 2018](#)

Record Number: [PLN-CAPP-2018-127](#)

Expiration Date:

Description:

Record Name: [1136 Seaboard Ave, Chesapeake VA 23324](#)

- [Roof replacement from metal to shingle. Remove two unneeded windows on the north side of the home. Upgrade existing vinyl siding to new vinyl siding. Upgrade windows.](#) Parent Record Number:

Address: [1136 SEABOARD AVE, CHESAPEAKE, VA 23324](#)

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	[REDACTED]	[REDACTED]	

Parcel Information

Parcel No:
[1280000001200](#)

Contact Information

Name	Organization Name	Contact Type	Phone
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

Address

Application Specific Information

NATURE OF THE APPLICATION

Description	Replace and update historical home features.
Zoning Sign Off	No
Economic Hardship	No

PLANNING STAFF TO COMPLETE

Application After-the-Fact	-
After-the-Fact Fee Paid	-
Approved Administratively	-
Approving Planner	-
Approval Date	-
Certificate Number	-
See supplemental submittal requirements	-
Board Approved Certificate Number	-

I, _____, hereby grant permission for City Staff & members of the Historic Architectural Review Board to enter my site to view exterior areas related to this Certificate of Appropriateness Application.

-

Structure Designation

-

GENERAL INFORMATION

Year Structure Built	1914
Is this an After-the-Fact application?	Yes
\$250 After the Fact fee, if required.	CHECKED
One original delivered to the Planning Department OR a copy attached to the on-line application	UNCHECKED
One disk containing all photos OR photos attached to on-line application	UNCHECKED
<input type="checkbox"/> Completed and notarized power of attorney form if the applicant is not the property owner.	UNCHECKED

NEW CONSTRUCTION

Completed application form.	UNCHECKED
<input type="checkbox"/> Surveyed site plan (including proposed buildings, structure(s), parking, etc.).	UNCHECKED
Front and side elevations	UNCHECKED
Samples	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
Photographs of the property and adjoining or opposite properties.	UNCHECKED

ADDITIONS TO EXIST. STRUCTURES

Completed application form.	CHECKED
Surveyed site plan or city tax map	UNCHECKED
Elevations	UNCHECKED
Photographs of the existing structure and property.	CHECKED
Samples, photos, and brochures	UNCHECKED
Arrangement of proposed exterior lighting.	UNCHECKED
<input type="checkbox"/> Proposed signs with appropriate detail as to character and location.	UNCHECKED

ALTERATIONS OR REPAIRS

Completed application form.	UNCHECKED
Written description of work to be performed	CHECKED
Photographs of the building/structure.	CHECKED
2 quotes each are required for the following:	UNCHECKED
Photos numerically keyed	UNCHECKED

RELOCATIONS

Completed application form	UNCHECKED
----------------------------	-----------

- | | |
|--|-----------|
| <input type="checkbox"/> Photographs of the building or structure to be relocated and adjacent properties. | UNCHECKED |
| <input type="checkbox"/> Photographs of the premises to which the building or structure will be relocated. | UNCHECKED |
| <input type="checkbox"/> Written description of reasons for the relocation and the proposed use of the vacated property. | UNCHECKED |
-

DEMOLITIONS

- | | |
|--|-----------|
| Completed application form | UNCHECKED |
| <input type="checkbox"/> Photographs of the building or structure to be demolished to illustrate its state of disrepair. | UNCHECKED |
| Written report on condition of building or structure. | UNCHECKED |
| Written description of work to be performed | UNCHECKED |
-

METAL ROOFS

- | | |
|-------------|-----------|
| Explanation | UNCHECKED |
|-------------|-----------|
-

SPECIAL POWER OF ATTORNEY

- | | |
|------------------------------------|-----------|
| Special Power of Attorney attached | UNCHECKED |
|------------------------------------|-----------|
-

METAL ROOFS

- | | |
|--|-----------|
| Info required to replace metal roof with metal roof. | UNCHECKED |
| Picture | UNCHECKED |
| Specification Sheet | UNCHECKED |
| Roof color sample | UNCHECKED |
| Info required to replace metal roof with architectural shingles. | UNCHECKED |
| Quotes | UNCHECKED |
| Roof color sample (asphalt) | UNCHECKED |
-

Exhibit “A”

Scope Of Work

This Exhibit is part of the Independent Contractor Services Agreement dated the 24th day of November, 2018, between Davis Flips LLC, as Customer and Advanced Vinyl Solutions, as Contractor thereof.

The following are the services to be provided to Customer from Contractor;

- Remove metal roof, replace with Shingle Roof
- Remove current siding and replace with new siding
- Remove soffits and trim and replace with new materials
- Remove gutters and replace with new gutter system
- Remove current windows and replace with new window.
- Remove flooring on bottom floor and resupport/lift the house as needed
- Add vapor barrier and crawl space coverings as needed
- Replace subfloor and cover with new flooring on ground floor
- Remove downstairs tub and knock out connecting walls
- Remove downstairs smaller window
- Replace and raise downstairs bathroom window with like window
- Close off half downstairs bath with door
- Extend laundry/pantry wall and add door
- Add cabinets, fixtures, countertops, and appliances to kitchen
- Add island cabinets and countertops
- Resurface all walls
- Bring ceiling to flush in the living room (rehome current plumbing)
- Replace all finishings downstairs
- Remove old front door, reframe and replace with new front door
- Bring staircase to code
- Bring all entryways to code
- Stabilize second floor subfloor
- Remove and replace all flooring on second floor
- Extend shared bathroom into first bedroom
- Repair all ceilings
- Add closet to middle bedroom
- Replace all interior doors
- Install new tub in both upstairs bathrooms
- Add tilework and tile floor to both upstairs bathroom
- Remove and replace toilet and vanity in both upstairs bathrooms
- Replace all finishings upstairs
- Provide additional electrical and plumbing services as needed (additional cost assessed at time of need)
- Remove and replace outside porch railings and repaint porch floor



Green Tree Ln





Eleven Thirty Eight

1138

Eleven Thirty Eight

STOP

LITTERING IS ILLEGAL
\$250 FINE
Keep Communities
Beautiful
and Safe





HOME
SWEET
HOME





Ultimate Soffit Systems

Design System
Appeal to Your Home

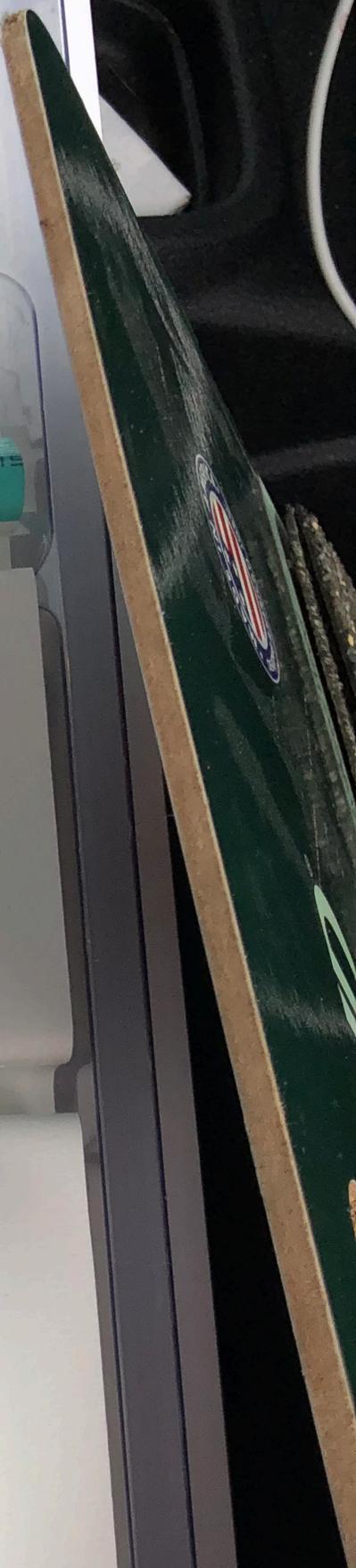
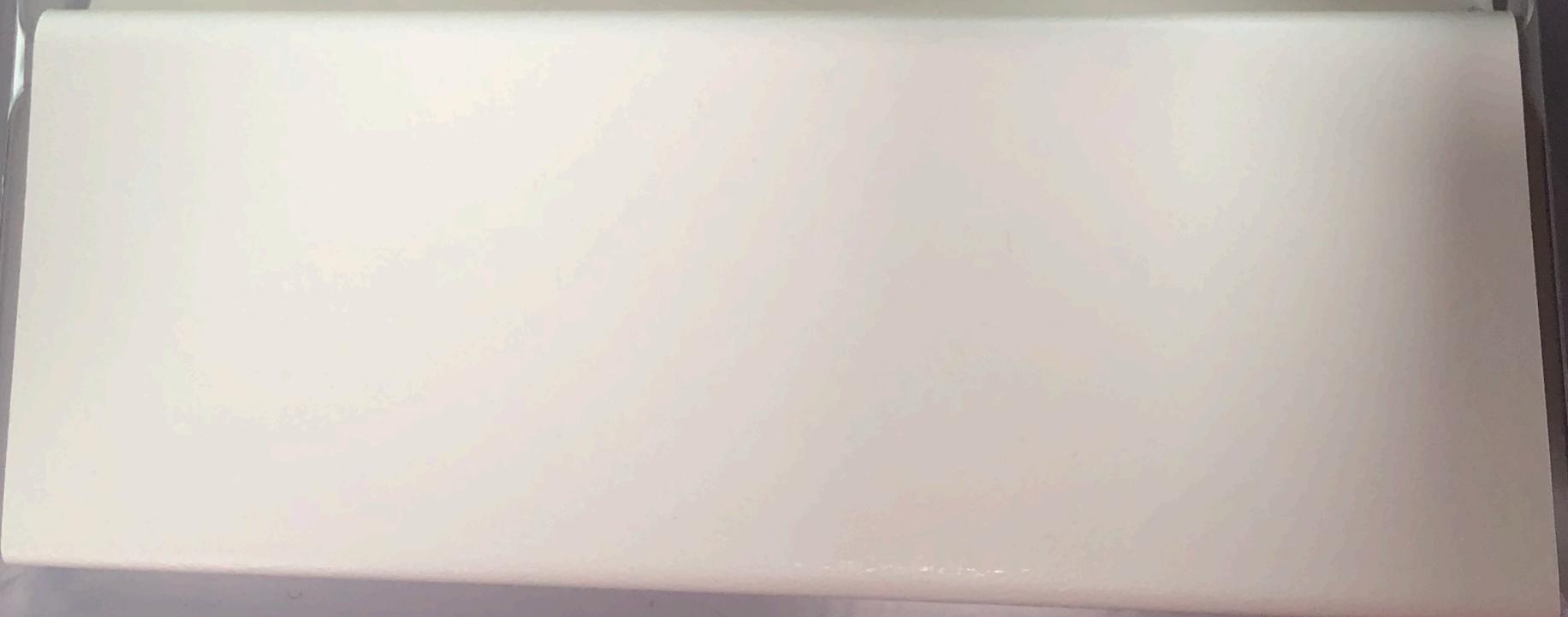
...to ...
... these ...
... corner ...
... and ...
... siding ...
... system



*Premium exterior products with a
new standard of excellence for your home.*

Alside







Alsis®

Color Selector

Charter

Oak

REINFORCED PREMIUM FIBRE SOFT

75-0175-01 06/17

INT Cover
GRAY

PLATINUM GRAY

Appalachian Sky





Quality You Can Trust... From North America's Largest Roofing Manufacturer!

TIMBERLINE HD

LIFETIME HIGH DEFINITION SHINGLES

AMERICA'S #1-SELLING ROOF



Using mostly domestic and some foreign components

Barkwood

Charcoal

Dark Hickory

Hunter Green

Shakewood

Shale



Featured Color:
Barkwood



Report: 2122

**Confidential Inspection Report
1136 Seaboard Ave
Chesapeake, VA**

**Floyd Gibbs- Owner/VA State Certified Inspector #3380 00473
Certified Master Inspector
Certified Inspector CRI #: 201111
BBB A+ Rating**



November 1, 2018



Prepared for: Jessica Davis

Inspection performed by: Gene Deitz

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

Inspection Table of Contents

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GENERAL INFORMATION

Client & Site Information:

1.1 Inspection Date And Time:

November 1, 2018 3:00 PM.

1.2 Client:

Ms. Jessica Davis.

1.3 Inspection Site:

1136 Seaboard Ave
Chesapeake, VA

1.4 Inspector:

Gene Deitz

1.5 Total Area

1650.

1.6 Estimated Age:

1914.

Climate Conditions:

1.7 Weather:

Rain.

1.8 Soil Conditions:

Damp.

1.9 Outside Temperature

(f):
70-80.

Building Characteristics:

1.10 Building Style & Type:

1 Family.

1.11 Stories:

2

1.12 Space Below Grade:

Crawl Space.

Utility Services:

1.13 Water Source:

Public.

1.14 Sewage Disposal:

Public

1.15 Utilities Status:

The gas is not on at the time of inspection and therefore devices requiring gas for full and proper inspection were not tested. It is recommended to have the gas turned on and inspected thoroughly for proper operation.



1.16 Other Utilities/Systems:

Inspect the heavily rusted gas line in the crawl space and repair/replace as needed.



Other Information:

1.17 Area:

City.

1.18 House Occupied

No, the home was not occupied at the time of inspection.

1.19 People Present:

Buyer, Buyers Agent.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with generally accepted standard of practice, a copy of which is available upon request. In the case of a pre-listing inspection-Quality Home Inspections speaks only to the conditions at the time of inspection, and is not responsible for any changes/alterations/repairs after inspection date. If repairs are completed, please have all sub-contractors to provide proof of work that was performed, this will need to be turned over to the buyer in the event of closing. Each subcontractor is responsible for the quality and warranty on the work that they performed at the property.

We detail items by color based on urgency, Green is used to represent items that are preventative maintenance. Yellow is used to represent general maintenance or service items, and Red represents items of deficiency. RED items need immediate attention to prevent damage or further damage depending on the situation. We recommend a licensed expert to further evaluate, make recommendations/needed repairs of RED items. Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; privately provided water/sewage systems (including wells), cosmetics or building code conformity. Due to standards currently set forth, we are unable to do "invasive testing" which includes (but is not limited to) removal of covers from HVAC systems to view internal components and puncturing wood to test for moisture/insect damage. A moisture termite inspection is always recommended, as we are not experts and can only speak to the conditions viewed at time of inspection. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades people or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the

claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

EXTERIOR & FOUNDATION

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified Class A contractor or structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs. As to the exterior walls/trim, some areas may not be visible due to gutters etc... if this is the case, we are not responsible for those areas which we cannot view (example-slab foundations). The chimney should be cleaned/evaluated by a licensed chimney expert before first use to insure proper operation.

Exterior Walls And Trim:

2.1 Walls:

The outside/exterior walls of the home are composed of:
Vinyl Siding

2.2 Immediate Concerns:

Missing exterior vents are noted around the home.

Many repairs/replacements needed at the siding.

Repair the siding at the right side of the house and replace the moisture damaged framing.

Repairs are needed at the kitchen window, signs of rodents entering the insulation.





2.3 Trim:

The exterior trim of the home is composed of: Metal, Vinyl, and Wood

2.4 Immediate Concerns Condition:

Replace all damaged fascia boards as needed around the home.



Foundation

2.5 Type

The foundation of the home is a crawl space.

2.6 Maintenance Condition:

There is debris noted in the crawl space at time of inspection. It is recommended to have removed to avoid insects and minimize safety hazards.

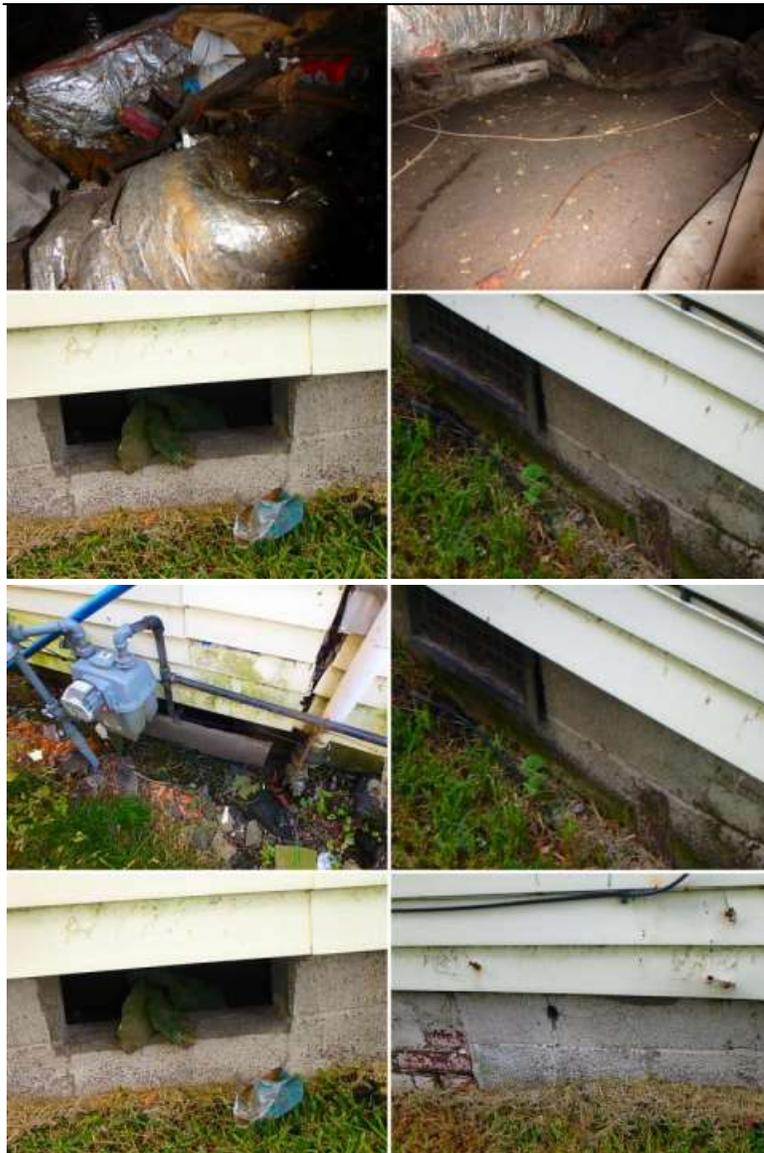
The crawl space needs installation of moisture poly barrier to prevent moisture from entering the air and causing issues. More ventilation is needed for the attic space.

The crawl space door is deteriorated and rusty. It is important to have the access door made of stable exterior material and properly secure door to the foundation wall.

Missing/loose/damaged foundation vents are noted, secure/repair/replace as needed.

Seal all holes and gaps as needed at the foundation.

Non-professional repairs are noted at the foundation.





2.7 Immediate Concerns Condition:

**Replace all termite damaged floor joists/beams and band boards as needed.
There are missing piers under the floating floor joists support.**

**Replace all non-professional repairs at the support beams and improper piers with proper materials and piers.
Have a licensed and insured contractor evaluate and make any further recommendations or repairs as needed to the foundation and/or the crawl space area of the home.**

Have a licensed and insured contractor evaluate and make any further recommendations or repairs as needed to the foundation and/or the crawl space area of the home.





ROOF SYSTEM

Although not required to, we generally attempt to evaluate various roof types by walking on their surfaces. If we are unable or unwilling to do this for any reason, we take great care in evaluating the system thoroughly through every aspect available to us at time of inspection. Every roof will wear differently relative to its age, number of layers, quality of material, method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material. Roof surfaces and materials over 10 years old are subject to issues that may arise; those include but are not limited to those associated with age. Maintenance and general repairs can be performed and may prolong the life of the existing materials, however larger repairs or replacement may be necessary at any time.

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Attic & Insulation:

3.1 Structure:

The attic/roof structure utilizes, conventional framing for the structure of the roof. The attic is, full, this means that it spans the entire area of the house.



3.2 Maintenance Condition:

The power fan is not on during inspection.

There is debris and/or personal belongings noted in the attic. Due to this we may have been unable to view all areas. Seal the gaps at the AC lines at the gable wall.



3.3 Immediate Concerns Condition:

Replace the damaged pull down stairs as needed.

Replace all moisture damaged roof sheathing.

Replace the cracked roof rafters at the right side of the attic.

A contractor licensed and insured contractor should evaluate and make any recommendations or repairs as needed to the attic.





3.4 Insulation Type:

Insulation type is: fiberglass batts

3.5 Condition:

The insulation installed appears to be inadequate. It is recommend to add additional insulation in all areas for proper thermal coverage.

Remove the insulation from the roof rafters.

Insulation is installed upside down, correction is needed.



Roof:

3.6 Style:

The roof style is gable. hip.



3.7 Roof Covering:

The roof is 20-25 year product
Other materials used are, metal.

3.8 Roof Access:

The roof was accessed/viewed by ladder.

3.9 Age:

The roof is at the end of its normal life expectancy. The roof covering may need replacement in the near future. A licensed roofing contractor should be contacted to make further evaluations and to provide cost estimates for roof covering replacement.

3.10 Immediate Concerns Condition:

**Extend the rear gable roofing over the siding.
The metal roof is in need of replacement.**

Replace the shingles over the front porch.

Have a licensed and insured roofing contractor evaluate and make any further recommendations or repairs as needed to the roofing system.





Gutters & Downspouts:

3.11 Type:

Gutters are installed around the soffit of the house. Regular cleaning and securing is standard upkeep.

3.12 Condition:

There are portions of the gutter system that are loose at time of inspection. Secure the gutters and/or downspouts to the house as needed to ensure proper function.

There are some parts or pieces missing or damaged around the house. It is recommend to have all parts and pieces in place for proper operation.

Repairs are needed to the gutter and/or the downspouts to maximize the effectiveness of the gutter system.

Add splash blocks at the downspouts as needed for proper function of the gutter system.

Repair/replace the gutters as needed around the home.





In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

PLUMBING SYSTEM

Water quality or hazardous materials (lead) testing is available from local testing labs, and not included in this inspection. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection, nor can the presence of mineral build-up that may gradually restrict their inner diameter and reduce water volume. Plumbing components such as gas pipes, potable water pipes, drain and vent pipes, and shut-off valves are not generally tested if not in daily use. The inspector cannot state the effectiveness or operation of any anti-siphon devices, automatic safety controls, water conditioning equipment, fire and lawn sprinkler systems, on-site water quality and quantity, on-site waste disposal systems, foundation irrigation systems, spa and swimming pool equipment, solar water heating equipment, or observe the system for proper sizing, design, or use of materials.

Polybutylene (Quest) was used extensively in the manufacture of water supply piping in the 1980's. Quest 1 was the first generation of the product and experienced many issues while Quest 2 was the second generation product and issues found with the first generation are not currently found with that generation (Quest 2). Recommend education in regards to the product and all of the products used within the plumbing system. If any of the product is visible the inspector will indicate. In some cases it is unable to be viewed at time of inspection. Recommend education in regards to the product and consultation with a licensed plumber if desired/deemed necessary. In some areas lead piping was used as supply pipes, there is varied information provide, however; it is generally accepted that the lead contact of the pipe is not an issue at this time. If you find that you have lead supply pipes installed, we recommend you educate yourself on the issue and determine the best course of action for your family.

Older shower pans/enclosures are known to have issues and should be carefully monitored/evaluated to prevent future issues.

The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. Therefore a regulator is recommended whenever street pressure exceeds 80 psi. However, regardless of pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress washers and diaphragms within various components.

Waste and drainpipes pipe condition is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. Older homes with galvanized or cast iron supply or waste lines can be obstructed and working during an inspection but later fail under heavy use. If the water is turned off or not used for periods of time (such as a vacant house waiting for closing), rust or deposits within the piping can further clog the piping system. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains at the time of inspection. Nonetheless, blockages will still occur in the life of any system. If the home is noted to be the year 1969 or before, and any older plumbing materials are still present- there may be/arise issues associated with older pipes/fixtures. These problems may or may not be visible at this time, careful monitoring and evaluation is recommended.

Main Line:

4.1 Shut Off:

Generally, the main shut off is located at the street. There may also be another located elsewhere on the property.

Supply Lines:

4.2 Material:

The supply lines are composed of copper, plastic.

4.3 Maintenance Condition:

Knock arrestors are required at the laundry, ice maker and shut off valves for all new and rehabilitated homes. Inquire to the seller to see if knock arrestors are installed.



Waste Lines:

4.4 Material:

The waste lines are composed of cast iron, galvanized, PVC.

4.5 Immediate Concerns Condition:

Inspect the disconnected drain line in the middle of the crawl space and repair/remove as needed.

Have a licensed and insured plumbing contractor evaluate and make any further recommendations or repairs as needed to the plumbing system.



Hose Faucets

4.6 Maintenance Condition:

The hose faucet needs to be secured to the house and sealed.



Plumbing Notes:

4.7 Issues Found

If the home is noted to be the year 1969 or before, and any older plumbing materials are still present- there may be/arise issues associated with older pipes/fixtures. These problems may or may not be visible at this time, careful monitoring and evaluation is recommended.

Water Heater:

4.8 Manufacturer:

The water heater is manufactured by Whirlpool.



4.9 Power Source:

The hot water heater is powered by electricity.

4.10 Capacity:

The capacity is 50 gallons.

4.11 Date Of Manufacture:

The unit was manufactured in 2015.

4.12 Serial/Model Number(s)

Serial #-1517101372041

Model #- E50H6-45100.

4.13 Location:

The unit is located in the utility room.

4.14 Immediate Concerns Condition:

The pressure relief valve drain line ends prematurely, extend to 6" up off the ground as required to prevent accidental injury in the event of a discharge.

A proper drain pan should be installed under the unit as per standard. This will help prevent damage in case of an emergency.

Repair the leaking supply line as needed.

Have a licensed and insured plumbing contractor evaluate and make any further recommendations or repairs as needed to the plumbing system.



HEATING - AIR CONDITIONING

The inspector can only readily open access panels provided by the manufacturer or installer for routine homeowner maintenance, and will not operate components when weather conditions or other circumstances apply that may cause equipment damage. Temperatures of 65 degrees or lower are unsuitable for testing A/C units, recommend having fully tested/evaluated before first use (in the spring). The inspector does not light pilot lights or ignite or extinguish solid fuel fires, nor are safety devices tested by the inspector. The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, or inspect concealed portions of evaporator and condensing coils, heat exchanger or firebox, electronic air filters, humidifiers and de-humidifiers, ducts and in-line duct motors or dampers, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. If the outside temperature is below 65 degrees, the A/C unit is unable to be tested at time of inspection and should be properly maintained/evaluated before first use. If your system is a heat pump type, then we are unable to determine if heat is due to electric coils or charge. We perform a conscientious evaluation of the system, but we are not specialists.

Please note that even modern heating systems can produce carbon monoxide, which in a poorly ventilated room can result in sickness and even death. Therefore, it is essential that any recommendations we make for service or further evaluation be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form or warranty or guarantee. Normal service and maintenance is recommended on a yearly basis. Determining the presence of asbestos materials commonly used in heating systems can ONLY be performed by laboratory testing and is beyond the scope of this inspection. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is sometimes costly to remedy. Any time a unit is more than 13 years old (most manufacturers recommended system life) we recommend having it evaluated by a licensed HVAC contractor due to the fact that it is considered "end of life/advanced age" and may need repair/replacement in the near future.

Primary Air Conditioning:

5.1 Type And Location:

The primary unit is a Central Air Conditioning Unit/gas pack.



5.2 Manufacturer:

The manufacturer of the unit is Goodman.

5.3 Date Of Manufacture And Size Of Unit:

The unit was manufactured in 2006 and the capacity of the unit is 2 Ton.

5.4 Serial/Model Number(s)

Serial #- 0606077662

Model #- GPG13240701AA.

5.5 Temperature Differential

The differential noted for the unit at time of inspection is not sufficient. Recommend having a licensed professional to evaluate, make recommendations/repairs, provide maintenance/service as needed to the unit.



5.6 Amp

The maximum AMP allowed for the unit is 20 AMP.

The AMP Installed at the panel upon inspection is, 30 AMP.

The AMP installed at time of inspection at the panel box is not correct. Recommend having a licensed professional to correct this issue to avoid possible damage to the unit.

5.7 Immediate Concerns Condition:

Have the unit serviced due to age.

Have a licensed and insured HVAC contractor further evaluate and make any recommendations and repairs as needed to the HVAC system.

Secondary A/C Unit:

5.8 Type And Location:

The secondary unit is a Heat Pump and is located in the rear.



5.9 Manufacturer:

The manufacturer of the secondary unit is Goodman.

5.10 Date Of Manufacture And Size Of Unit:

and the unit was manufactured in 2008 and the capacity of the unit is 2 Ton.

5.11 Serial/Model Number(s)

Serial #- 0807742681

Model #- SSX160241AB.

5.12 Temperature Differential

The differential noted for the unit at time of inspection is not sufficient. Recommend having a licensed professional to evaluate, make recommendations/repairs, provide maintenance/service as needed to the unit.



5.13 Amp

The maximum AMP allowed for the unit is, 30 AMP.

The AMP Installed at the panel upon inspection is, 40 AMP.
The AMP installed at time of inspection at the panel box is not correct. Recommend having a licensed professional to correct this issue to avoid possible damage to the unit.

5.14 Maintenance Condition:

Have the A/C lines re-insulated where missing to reduce condensation and for a proper thermal barrier.
Extend the primary drain condensate line away from the foundation to keep water from entering the crawl space.



5.15 Immediate Concerns Condition:

Have the unit service due to age. Have a licensed and insured HVAC contractor further evaluate and make any recommendations and repairs as needed to the HVAC system due to the age of the unit/conditions.

Ductwork:

5.16 Type:

The ductwork type is, flex round, insulated metal.

5.17 Condition:

Clean all ductwork within the system as needed.
Install heat duct in the master closet.
Repair/replace all duct work in the crawl space as needed.
Remove all wood from under the crawl space duct work and strap properly to the floor joist.

A licensed and insured HVAC contractor should evaluate and make any further recommendations and repairs as needed to the ductwork system.





Thermostats/Controls

5.18 Condition

The thermostat is old and questionable, consider having replaced.



Primary Heating Furnace/Air Handler:

5.19 Type & Location:

The primary heating unit is a Gas Fired Unit/ Gas Pack and is located at the exterior.

5.20 Manufacturer:

The manufacturer of the primary unit is Goodman.

5.21 Year Of Manufacture And Size Of The Unit:

The unit was manufactured in 2006 and the capacity of the unit is 2 Ton.

5.22 Serial/Model Number(s)

Serial #- 0606077662

Model #- GPG13240701AA

5.23 Immediate Concern Condition:

Seal all gaps around the ductwork and pipes.

Replace the damaged electrical conduit and raise out of the soil.

We are unable to test the unit at the time of inspection due to the utility that operates the system/component being off.

Recommend having the utility turned on and all dependent components and systems thoroughly tested at that time.

The advanced age and/or condition of this unit is such that you will likely need to replace it in the near future. Have a

licensed HVAC contractor to further evaluate, service the system and make any further recommendations as needed.



Secondary Heating Unit: Furnace/Air Handler:

5.24 Type & Location:

The secondary unit is a Heat pump and is located in the attic and is powered by Electricity.



5.25 Manufacturer:

The manufacturer of the secondary unit is Janitrol.

5.26 Year Of Manufacture And Size Of The Unit:

The unit was manufactured in 2000 and the capacity of the unit is 2 Ton.

5.27 Serial/Model Number(s)

Serial #- 001487445

Model #- AR24-1.

5.28 Maintenance Condition:

Re-insulate the AC line as per standard to keep from sweating to prevent damage to the ceilings below.

While the unit appears to be functioning, due to the outside temperature being over 65°, we are unable to determine the temperature differential.



5.29 Immediate Concern Condition:

Test the condensate pump to be sure it operated properly.

Missing rubber grommet at the AC line and unit.

The advanced age and/or condition of this unit is such that you will likely need to replace it in the near future. Have a licensed HVAC contractor to further evaluate, service the system and make any further recommendations as needed.



Filters

5.30 Air Filters:

The air filter is located downstairs, and measures 14x30

The air filter is located, upstairs, and measures 14x30

5.31 Air Filter Condition:

Filter(s) are not installed as per standard and need to be replaced to extend the life of the HVAC system and performance.

ELECTRICAL SYSTEM

We are not electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a licensed contractor. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. If we are unable to determine the AMP size installed at the panel for the HVAC system at time of inspection, a licensed contractor should evaluate and insure that it is the correct size for the unit per manufacturers recommendations. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician.

Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any over-current device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built in vacuum equipment.

Electric

6.1 Service

The service is 110/220 V breaker panel with overhead entry.

6.2 Panel Location

The main service entering the house is a 200 AMP breaker panel and is located in the kitchen foyer.



6.3 Cautionary Issues For Panel:

The panel box appears serviceable and was standard for the year it was installed with no issues noted.

6.4 Cautionary Issues For Sub-panel:

Remove the unused meter base from the home.



6.5 Lighting

There are some missing or blown bulbs throughout the home. Replace the bulbs and retest to ensure of operation. Secure the exterior light fixture as needed.

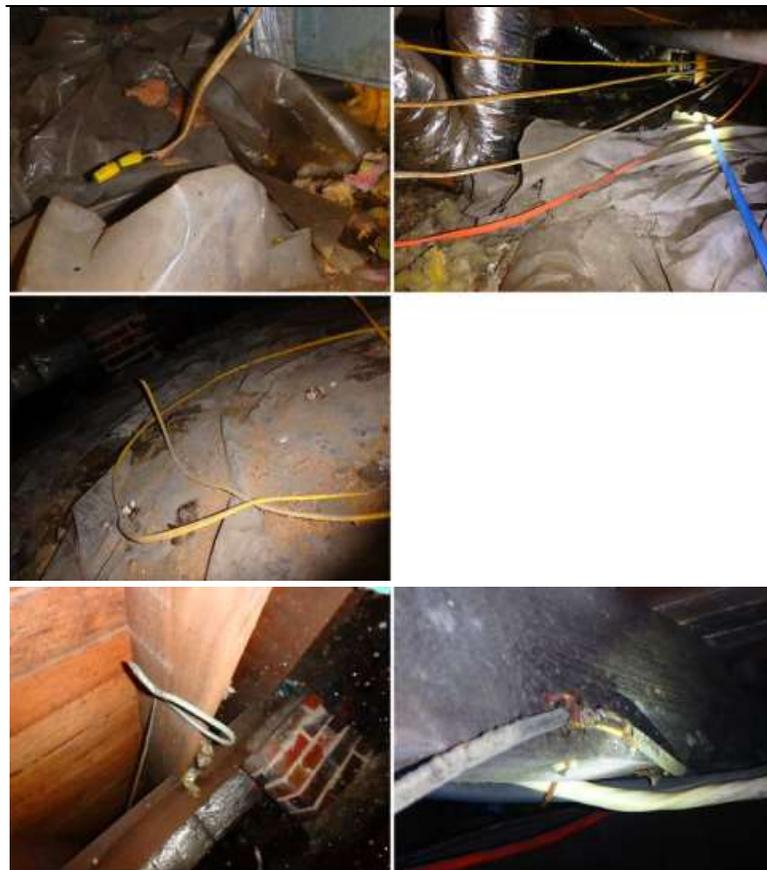


Electrical Wiring And Junction Boxes:

6.6 Electric

All wiring in the crawl space needs to be evaluated/repaired/removed/strapped up.

Have a licensed and insured electrical contractor further evaluate and make any recommendations and repairs as needed to the electrical.



Cautionary Issues For Switches/Outlets:

6.7 Electric

Secure the garage exterior outlet and upgrade to GFI

Switch or outlet plate covers around the house are missing or damaged, replace the covers as needed for safety.



INTERIOR ROOMS

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and the testing of a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, move furnishings or possessions, lift carpets or rugs, empty closets or cabinets, nor comment on cosmetic deficiencies. We may not comment on cracks that appear around windows and doors, along lines of framing members or along seams of drywall and plasterboard. These are typically caused by minor movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Floor covering damage or stains may be hidden by furniture, and the condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Testing, identifying, or identifying the source of environmental pollutants or odors (including but not limited to- lead, mold, allergens, odors from household pets and cigarette smoke) is beyond the scope of our service, but can become equally contentious or difficult to eradicate. Smoke Alarms; If not already installed, should be placed in each bedroom and in both upper and lower hallways for maximum safety, test units regularly as per standard-install new batteries and replace older/broken units as needed. We recommend you carefully determine and schedule whatever remedial services may be deemed advisable or necessary before the close of escrow.

Doors:

7.1 Front Door:

Consider installing support blocks under the exterior part of the thresholds. This will keep them from bending down and possibly breaking.

There is one or more hinge screws missing at the front door, replace as needed.

The doorbell is not functioning properly or is missing and needs to be repaired or replaced.

The strike plate is missing the screws and need to be replaced to allow for proper operation.



7.2 Other Exterior Doors:

A door stop should be installed to the door to prevent damage to the door and/or wall.

Adjust the storm door to close properly.

Adjust the door to seal properly.

Caulk the tile to the threshold as needed.

Missing strike plate screws are noted.



7.3 Interior Doors:

The filler strip is noted to be missing from door(s) inside the home.
Damage is noted to some of the doors have repaired or replace as needed.

The strike plate is missing and needs to be replaced to allow for proper operation.
Adjust any doors that are rubbing or sticking at the frame to operate properly.



Windows:

7.4 General Type

The windows are composed of clad-metal/vinyl, aluminum, Insulated glass, storm windows.

7.5 Maintenance Condition:

There is one or more window screen(s) that is not installed. Inquire with owner as to their location.

There are screen(s) that have holes or damage noted around the home. Have the screens repaired or replaced as needed.



7.6 Immediate Concern Condition:

Damaged storm windows are noted.

Repairs are needed for proper function of the windows.



Interior Walls:

7.7 General Material:

The interior walls are composed of drywall, plaster.

7.8 Maintenance Condition:

Due to some of the conditions viewed, for example damaged walls, holes, loose tape joints etc, repairs are needed to some of the interior walls around the home to prevent further damage.

Repairs are needed at the baseboards within the home.

Paint is needed at the wood trim around the home.

Missing closet noted at the middle bedroom.



Ceilings:

7.9 General Type:

The interior ceilings are composed of drywall, plaster.

7.10 Maintenance Condition:

Due to some of the conditions viewed, for example damaged ceilings, holes, loose tape joints etc, repairs are needed to some of the ceiling around the home to prevent further damage.



7.11 Immediate Condition:

**Treat the ceiling for mold in the upstairs hall bathroom.
Replace the damaged ceiling in the upstairs closet.**



Floors:

7.12 Materials:

Carpet is installed in some rooms/areas in the home.
Vinyl flooring is installed in some rooms/areas in the home.
Tile flooring is installed in some rooms/areas in the home.

7.13 Maintenance Condition:

**It is recommended to replace the carpet floor coverings in the home due to the conditions viewed.
Uneven floors are not uncommon for this age home. Monitor.**



7.14 Immediate Condition:

Repair/replace the loose tiles as needed.



Stairs & Handrails:

7.15 Condition:

The handrails are noted to be loose at time of inspection. Have the handrails secured as needed for safety.



Smoke / Fire Detector:

7.16 General:

There are some smoke detector units installed at time of inspection that need to have the batteries replaced and tested to ensure proper function.

It is recommended to add carbon monoxide detector or CO detectors within the home for safety. A carbon monoxide detector or CO detector is a device that detects the presence of the carbon monoxide (CO) gas in order to prevent carbon monoxide poisoning. ... CO is a colorless, tasteless and odorless compound produced by incomplete combustion of carbon-containing materials.

There are some units that are missing and need to be replaced, Smoke detectors should be installed in each bedroom and in both upper and lower hallways for maximum safety. Testing for proper operation and installation of fresh batteries yearly is recommended.



GARAGE - CARPORT

Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. Garage door openings are not standard, so you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles. It is not uncommon for moisture to penetrate garages, particularly with slabs on-grade construction, and this may be apparent in the form of efflorescence or salt crystal formations on the concrete. You may want to have any living space above the garage evaluated further by a structural engineer, as it may be seismically vulnerable.

Garage Type:

8.1 Type:

A one car garage is present on the property and is detached.



8.2 Roof:

The shingles at the roof need to be replaced.



8.3 Firewall:

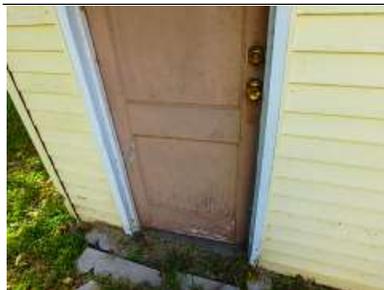
N/A.

8.4 Garage To House Door

N/A.

8.5 Main Garage Door(s):

Repairs are needed at the service door.



8.6 Other Observations:

Damaged siding is noted at the garage, repair as needed.

Install proper length studs as needed.



KITCHEN - APPLIANCES

Kitchen Interior:

9.1 Materials:



Kitchen Notes:

9.2 Kitchen:

The kitchen is being renovated-per buyer nothing was tested/inspected.

Laundry:

9.3 Location:

The laundry facility is located in the utility.



9.4 Condition:

The drain system was not tested at time of inspection, since no units are present. It is important to clean and maintain the dryer venting to prevent a fire hazard.

If a washer is not installed at time of inspection, we are unable to test the plumbing system for proper function. Recommend having thoroughly tested when unit is installed. Dryer venting should be cleaned/maintained regularly as part of routine maintenance associated with home ownership. If clothes are present inside the washer/dryer at time of inspection, we are unable to test those units. Therefore, we are unable to speak to the condition of said units.

BATHROOMS

In accordance with industry standards of practice, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

Our inspection of interior areas includes the visually accessible areas of walls, floors, cabinets and closets, and a representative number of windows and doors, switches and outlets. We do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies. **If a shower enclosure is present, and was installed before 1968, this should be evaluated further and certified. These enclosures are known to leak over time, and although this is not always visible at inspection it can be an ongoing issue and cause damage if not corrected.

Bathroom #1:

10.1 Bathroom Location:

Bathroom #1 is located downstairs in the hall.



10.2 Condition Of Sink:

A flex drain line is installed in bathroom #1. This is not a common practice and it is recommended to replace with solid piping.

The stopper is missing at the sink in bathroom #1, replacement is needed for proper function.



10.3 Condition Of Toilet:

The toilet in bathroom #1 needs to have the wax ring replaced and toilet secured. This will ensure that there are no leaks, which can cause moisture damage that is hard to detect.



10.4 Tub/Shower Plumbing Fixtures:

The shower head in bathroom #1 is leaking, repair or replace as needed for proper operation.

The tub/shower diverter is not functioning properly in bathroom #1 and should be repaired or replaced for proper function. The handles/fixtures are leaking at the tub/shower in bathroom #1, have repaired or replaced to ensure proper function.



10.5 Tub/Shower And Walls:

It is recommended to clean the tub/shower walls in bathroom #1.

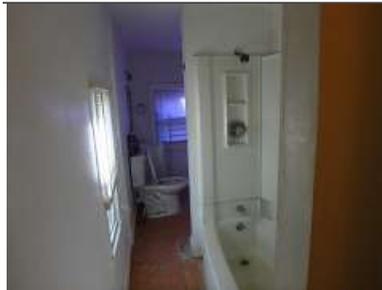
10.6 Bath Ventilation:

The vent fan in bathroom # 1 is noted to be dirty. It is recommended to clean the unit to ensure proper operation.

Bathroom #2:

10.7 Bathroom Location:

Bathroom #2 is located downstairs in the hall.



10.8 Condition Of Sink:

The sink appears to be serviceable in bathroom #2 at the time of inspection.

10.9 Condition Of Toilet:

The toilet tank in bathroom #2 is loose and needs to be secured. Tighten the bolts at the tank as needed to ensure the tank is secure.

The toilet in bathroom #2 needs to have the wax ring replaced and toilet secured. This will ensure that there are no leaks, which can cause moisture damage that is hard to detect.



10.10 Tub/Shower Plumbing Fixtures:

The shower head in bathroom #2 is leaking, repair or replace as needed for proper operation.

10.11 Tub/Shower And Walls:

Caulking is needed at the tub to the floor in bathroom #2 to avoid moisture intrusion.

It is recommended to clean the tub/shower walls in bathroom #2.

Repair/replace the shower door framing at bathroom #2.



10.12 Bath Ventilation:

The vent fan in bathroom #2 is noted to be dirty. It is recommended to clean the unit to ensure proper operation.

Bathroom #3:

10.13 Bathroom Location:

Bathroom #3 is located upstairs in the Master bedroom.



10.14 Condition Of Sink:

There is no overflow hole noted at the bathroom sink(s) as per standard in bathroom #3.

Secure the sink faucet kit to the sink at bathroom #3.



10.15 Condition Of Toilet:

The toilet in bathroom #3 needs to have the wax ring replaced and toilet secured. This will ensure that there are no leaks, which can cause moisture damage that is hard to detect.

10.16 Tub/Shower Plumbing Fixtures:

Secure the tub fixtures to the tub surround and caulk at bathroom #3.



10.17 Tub/Shower And Walls:

Caulking is needed at the tub to the floor in bathroom #3 to avoid moisture intrusion. It is recommended to clean the tub/shower walls in bathroom #3.



10.18 Bath Ventilation:

The ventilation for bathroom #3 is a window only.

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this can only be confirmed by a geological evaluation of the soil. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. We cannot determine drainage performance of the site or the condition of any underground piping, including subterranean drainage systems and municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. Any areas too low to enter or not accessible are excluded from the inspection. We do not evaluate any detached structures such as storage sheds and stables, nor mechanical or remotely controlled components such as driveway gates. We do not evaluate or move landscape components such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. Any such mention of these items is informational only and not to be construed as inspected.

Paving Conditions:

11.1 Walks:

The sidewalk is composed of concrete.

11.2 Condition

The cracks noted are typical in the surface of the walkway . This is standard in most sidewalks and is not considered an issue

The walkway is noted to be raised or settled and as such can pose a tripping hazard. It is recommended to repair or replace the hazard area for safety.



Landscaping:

11.3 Condition:

It is recommended to trim away bushes, plants and/or ivy away from structure to help prevent damage to the building materials.

In regards to the landscaping, it is noted that there are trees and/or foliage touching the walls or overhanging the roof and damage is possible. Have the limbs cut away from the house to prevent future damage.



Grading:

11.4 Site:

The grading is noted to be gentle at the front and flat/gentle at the rear.

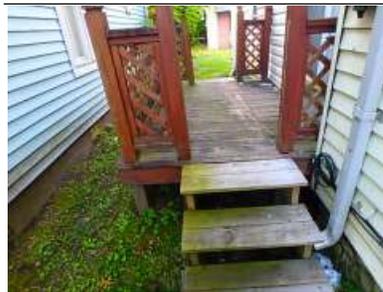
11.5 Condition:

The grade at foundation appears to be maintained and functional.

Patio, Porch And Decks:

11.6 Decks:

The deck is composed of Wood
Concrete



11.7 Condition:

Paint is peeling at the concrete front porch.

It is recommended to wash and seal the deck with a quality product for production and longevity.



11.8 Patio/Porch:

The patio/porch structure is open.

11.9 Condition:

The patio/porch appears to be in serviceable condition.

Exterior Steps And Stoops:

11.10 Condition:

Non-professional stair supports are noted. Monitor.

Repair or replace any moisture damaged steps, boards, posts and railings as needed to prevent further damage and safety. Install a step at the rear door as needed.



Fences & Gates:

11.11 Type:

The fences/gates are composed of chain, wood.

11.12 Condition:

There are some repairs that are needed to the fence to ensure proper function.

